



CITY OF WACONIA PLANNING COMMISSION AGENDA

Regular Meeting of
Planning Commission
Waconia, Minnesota

Thursday, March 3, 2016
City Hall – 6:30 PM

MEMBERS: Mike Blanchfield, Steve Hebeisen, Don Osmundson, John Meisch, Nathan Vilmain
ALTERNATE MEMBER: Robert Grohmann
CITY COUNCIL MEMBER LIAISON: Jim Sanborn

STAFF: Lane Braaten, Community Development Director
Angie Perera, Assistant Planner
Brenda Wurst, Recording Secretary

1. Call meeting to order and roll call
2. Adopt Agenda
3. Minutes Approval from: February 4th, 2016 Regular Planning Commission Meeting. Pages 1-2
4. New Business
 - A. PUBLIC HEARING: Interlaken 8th Addition/Stonegate Preliminary Plat, Zoning Map Amendment and Variance Applications submitted by Hartman Communities, LLC for the property located at 1150 Somerwood Drive. Pages 3- 24
 - B. PUBLIC HEARING: Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage and driveway on the property located at 425 Lake Street West. Pages 25-65
5. Other 2015 Land Use Summary

Adjourn

WACONIA PLANNING COMMISSION
THURSDAY, February, 4th, 2016

Pursuant to due call and notice thereof, a regular meeting of the Waconia Planning Commission was called to order by Chairperson Blanchfield at 6:30 p.m.

1. CALL MEETING TO ORDER.

MEMBERS PRESENT:	Blanchfield, Meisch, Osmundson, Vilmain and Grohmann
MEMBERS ABSENT:	Hebeisen
STAFF PRESENT:	Braaten, Perera
VISITORS:	See Attachment
CITY COUNCIL LIAISON:	Jim Sanborn

Braaten stated that he would be making one revision to the agenda which is the 2015 Land Use Summary to be added to the March Planning Commission Agenda.

2. ADOPT AGENDA: Motion by Meisch, seconded by Vilmain, to adopt the Agenda as presented. All present voted aye. **MOTION CARRIED.**

3. APPROVE MINUTES: Motion by Osmundson, seconded by Vilmain, to adopt the Minutes of January 7, 2016 meeting, all present voted aye. **MOTION CARRIED.**

4. OTHER:

Braaten's Updates:

- Braaten displayed the GIS mapping system indicating the location of the Waconia High School and Clearwater Middle School to point out the neighboring property that District 110 purchased for the expansion of the school.
- Braaten explained that in 2015 both phases to the project were approved and a joint permit was issued for the footings and foundation. The joint permit was required because the annexation of the parcels had not yet been finalized by the State.
- There have been issues with the annexation order provided by the Chief Administrative Law Judge as she has some concerns with the reimbursement fees that were charged to ISD110 by Waconia Township.
- The discrepancy is between what the Township believes is an appropriate fee and what the Judge considers an appropriate fee for the annexation.

Up-coming applications:

- Crosswinds will be submitting a final plat application for the eastern portion of the development, which will consist of 43 more new homes sites.
- The City has signed a letter of intent with Hartman Communities to sell the property south of Target. The property is located next to Dave Kenneth's (dba. Woodridge Homes) Somerwood Cottages residential development, which will consist of 42 detached townhome units. A Preliminary Plat was submitted for this parcel which will be 51 small lot single family parcels. This parcel is zoned for Medium Density Residential which is 4 units per acre. Hartman is proposing a Planned Unit Development. The original guidance was for townhome

units, but the plan for Medium Density Residential will still fit in with Dave Kenneth's neighboring development.

There being no further business, motion by Osmundson to adjourn at 6:45 p.m. seconded by Vilmain. All present voted aye. MOTION CARRIED.

Respectfully submitted,

Brenda Wurst
Office Assistant
Planning Department



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:	March 3 rd 2016						
Item Name:	Interlaken 8 th Addition/Stonegate Preliminary Plat, Zoning Map Amendment and Variance Applications submitted by Hartman Communities, LLC for the property located at 1150 Somerwood Drive						
Originating Department:	Planning and Zoning						
Presented by:	Lane Braaten, Community Development Director						
Previous Council Action (if any):							
Item Type (X only one):	<table border="1"><tr><td>Consent</td><td></td><td>Regular Session</td><td><input checked="" type="checkbox"/></td><td>Discussion Session</td><td></td></tr></table>	Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session	
Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session			

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Open Public Hearing

Motion to close the Public Hearing

Motion recommending either approval or denial of the proposed Zoning Map Amendment to rezone the subject parcel from R-3, Medium Density Residential District to PUD, Planned Unit Development District.

Motion recommending either approval or denial of the proposed Variance Application to the PUD Development Standards to allow building and parking to be setback a minimum of 20 ft. from any exterior PUD property line or abutting street versus the 40 ft. minimum required by Ordinance.

Motion recommending either approval or denial of the proposed Interlaken 8th Addition/Stonegate Preliminary Plat Application for the development of 51 small lot, single family parcels for the property located at 1150 Somerwood Drive.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND:

Applicant: Hartman Communities, LLC

Owner: Hartman Communities, LLC/City of Waconia

Address: 1150 Somerwood Drive

P.I.D. #: 753150610

Legal Description: Outlot A, Interlaken 4th Addition

Zoning District: R-3, Medium Density Residential District

Comprehensive Plan Designation: M – Medium Density Residential

REQUEST:

The City has received three land use applications from Hartman Communities, LLC for the property located at 1150 Somerwood Drive. The applications include the following:

1. Zoning Map Amendment to amend the City of Waconia Zoning Map and rezone the subject property to PUD, Planned Unit Development District from the current zoning of R-3, Medium Density Residential District
2. Variance Application to reduce the building and parking setback from any exterior PUD property line or abutting street to a minimum of 20 ft., versus the 40 ft. minimum required per Ordinance,
3. Preliminary Plat Application for the subject parcel. The Preliminary Plat, titled Interlaken 8th Addition/Stonegate, is proposed to include fifty-one (51) small lot, single-family parcels and two (2) outlots.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05, Subd. 2.C – R-3, Medium Density Residential District
2. Section 900.05, Subd. 2.O – PUD Planned Unit Development District
3. Section 900.06, Subd. 8 – Environmental Protection Regulations
4. Section 900.07 – Landscaping and Fencing

5. Section 900.08 – Performance Standards
6. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
7. Section 900.10 – Sign Regulations
8. Section 900.12, Subd. 4 - Variances
9. Section 900.12, Subd. 6 – Amendments
10. Section 1000 – Subdivision Ordinance

EXISTING CONDITIONS:

The subject parcel, located at 1150 Somerwood Drive, is currently undeveloped and located within the Waconia City limits (see attached location map). The property was originally platted as an outlot by Plowshares Development, LLC as part of the Interlaken Development, which was approved by the Waconia City Council in May of 2006. Since that time the parcel has been rough graded, but no development has occurred on the parcel.

The existing parcel is approximately 15.28 acres in total area with Airport Road acting as the north boundary, County Road 10 the south boundary, Somerwood Drive the east boundary, and Main Street as the west property boundary. The property to the west is currently outside of the City Limits, but guided for a large lot retail project. The properties to the east of the subject parcel consist of the Somerwood Cottages Residential Development and single family homes, which are part of the Interlaken 4th Addition development. Target is located to the north and the Interlaken Woods development is located to the south of the subject parcel.

PRELIMINARY PLAT REVIEW:

SUBDIVISION DESIGN FEATURES

The City of Waconia staff have reviewed the proposed Preliminary Plat application for the Interlaken 8th Addition/Stonegate residential development drafted by Westwood Professional Services, Inc. dated February 4th, 2016, as revised on February 22nd, 2016 and provide the following review and comments:

Streets/Access

The applicant is proposing two accesses to the development, both of which are off of Somerwood Drive. The northerly access will align with a future access to the Somerwood Cottages residential development which was platted as Somerwood Way.

The proposed arrangement, character, extent, width, grade and location of all proposed streets shown on the Interlaken 8th Addition/Stonegate Preliminary Plat plans are generally in conformance with the City Code and the City's Comprehensive Plan. Staff recommends approval of the street system for Interlaken 8th Addition/Stonegate as proposed.

Easements

Section 1000.06, Subd. Subd. 4 of the City Ordinance requires drainage and utility easements at least 10 feet wide, centered on the rear and side lot lines of abutting lots and shall have continuity from block to block and lot to lot. The applicant is proposing drainage and utility easements which conform to City standards.

Blocks

The blocks proposed in the Interlaken 8th Addition/Stonegate development are in conformance with the standards set forth in City Ordinance.

Lots

The applicant is requesting approval of PUD, Planned Unit Development District zoning for the Interlaken 8th Addition/Stonegate Preliminary Plat in order to allow for reduced lot sizing and reduced setbacks for the individual parcels. The property is currently zoned R-3, Medium Density Residential which allows only multi-family, two family, and townhouse dwellings and requires specific minimum setback and lot width requirements. The applicant has indicated an average lot area of 8,188 sq. ft., a minimum lot area of 7,155 sq. ft., a minimum lot width of 60 ft. and lot depth of at least 110 feet for the Interlaken 8th Addition/Stonegate development. The proposed lot sizing is acceptable to City staff per the plans submitted.

Outlots

The proposed plans indicate two (2) outlots being created with the approval of the Interlaken 8th Addition/Stonegate development (Outlots A and B).

Outlot A – The plans indicate that Outlot A will be designated as permanent open space.

Outlot B – The plans indicate that Outlot B will be designated as permanent open space.

Public Land Dedication, Open Space

City Ordinance requires at least 10% of the gross land in a subdivision shall be dedicated for parks, schools, playgrounds and open space. The subject parcel was originally platted in association with the Plowshares Development, LLC Interlaken Development and all public land and open space dedication requirements have been met as part of the afore-mentioned development and therefore no land or public space dedication shall be required as part of this application.

Pedestrian Ways and Trails

City Ordinance states “*Subdividers shall define and construct a meaningful pedestrian circulation system subject to City approval which connects to the major trail system and to schools, parks and shopping areas and shall provide easements to accommodate such movement. Said pedestrian ways shall be coordinated with those of adjacent subdivisions and the Comprehensive Plan.*”

Sidewalks

The applicant is proposing the installation of a 5 foot wide sidewalk on the west side side of Somerwood Drive extending north from the existing curb ramp on the south side of the property to the existing sidewalk located along the south side of Airport Road. The applicant is also proposing the installation of a 5 ft. sidewalk along at least one side of all road way systems within the development, which is consistent with what the City has allowed in previous subdivisions. City Staff has reviewed the sidewalk plan and determined that it is satisfactory and consistent with previous City approvals in regard to sidewalk width and location.

The proposed sidewalk sections are consistent with the Proposed Sidewalks and Trails Plan in the Waconia Comprehensive Plan. The plan indicates future sidewalk along Somerwood Drive, which is consistent with the applicant’s proposal.

Trails

The plans propose the construction of two an 8 ft. wide trail sections connecting the internal sidewalk system of Interlaken 8th Addition/Stonegate to the City and County Trail systems. The first proposed trail section would connect the sidewalk section in Highland Court to the future City trail section to the southeast. The other 8 ft. wide trail section proposed is a split trail segment located within Outlot A on the southwest corner of the property, which would link the sidewalk section along Stonegate Circle to the City trail located along Main Street and the 10 ft. wide trail section along the north side of County Road 10 (to be constructed by the developer with this project).

The plans also include a 10 ft. wide trail segment along the north side of County Road 10 extending along the entire southernmost property line within the County Road 10 right of way.

City staff have reviewed the proposed trail plans and the proposed widths are consistent with previous developments in the area and are acceptable to City staff. The Commission may want to comment on the proposed trail widths.

The proposed trail sections are consistent with the Proposed Sidewalks and Trails Plan in the Waconia Comprehensive Plan and the Carver County Regional Trail Plan.

Preservation of Natural Features and Amenities

Section 1000.06, Subd. 7.G states “*Existing features which would add value to residential development or to the local government as a whole, such as trees, as herein defined, watercourses and falls, beaches, historic spots, and similar irreplaceable assets, shall be preserved in the design of the subdivision.*”

The subject parcel has already been rough graded and therefore there are no natural features on site that are required to be preserved as part of the Interlaken 8th Addition/Stonegate Preliminary Plat. The Interlaken Park area was preserved when Plowshares Development, LLC originally platted the property as an outlot.

Landscaping and Tree Preservation

Landscaping

City Ordinance requires the following landscaping for properties zoned PUD, Planned Unit Development:

1. A planting strip and/or earth berm shall be placed in all newly platted residential developments that abut arterial roads to screen the view and to reduce noise levels in residential areas.
2. Landscaping for PUD districts shall follow the respective land-use guidelines. The proposed development shares development characteristics with both the R-1 and R-3 districts. The most restrictive shall apply in this case which is the R-1 district standards for landscaping.
3. Each newly platted lot shall have two (2) trees.
4. Shade trees shall be planted every forty (40) feet to sixty (60) feet within the right-of-way on both sides of any portion of road within the subdivision. The preliminary plat shall reserve an easement authorizing the local government to plant shade trees within five (5) feet of the required right-of-way of the local government.
5. Unless otherwise directed by the Planning Commission, all plantings shall be placed on the private property on which the development is taking place.
6. The owner shall provide the City with cash, corporate surety bond, approved letter of credit or other surety satisfactory to the City to guarantee the proper installation and growth of the approved landscape plan.
7. The landscape plantings shall be consistent with the minimum planting size stated in Section 900.07, Subd. 2.F.

The Interlaken 8th Addition/Stonegate Landscape Plan indicates the use of both coniferous and deciduous trees along Airport Road, Main Street, Somerwood Cottages and County Road 10 to screen the residential neighborhood from noise and view. The applicant is proposing to plant 270 total trees, 115 of which are deciduous, 139 are evergreens, and 16 are proposed to be ornamentals. The proposed landscape plan meets the shade tree requirement stated above as the City has consistently allowed the boulevard trees to be located within the front yard of the property if spaced adequately. The 270 proposed trees exceed the 102 trees required for the development and the applicant has proposed 2 trees per lot, which conforms to City Ordinance.

Staff has reviewed the proposed landscape plan and recommends approval of said plan per the Preliminary Landscape Plan drafted by Westwood dated 02/04/16 and revised 02/22/16.

Tree Preservation

City Ordinance allows developments in residential districts to remove or disturb up to thirty (30) percent of the total tree inches of significant trees. Any removal or disturbance beyond this threshold shall require reforestation or restitution. There are currently a handful of trees on the subject parcel that were planted in close proximity to the existing monument signs. The applicant is proposing that said trees remain in their current location and configuration and therefore a tree preservation and tree removal plan do not apply to this application.

Utilities

Sewer, Water, and Stormwater items have been addressed by Jake Saulsbury, Consulting City Engineer and Craig Eldred, Public Services Director in the Staff Review memo dated February 16th, 2016 and the Bolton & Menk memo dated February 26th, 2016 (see Attachments 3 and 4). The applicant has responded to the February 16th, 2016 memo and their response to said comments are adequate based on staff's review. Please note that the information submitted for the preliminary plat phase is adequate, but additional detailed reviews will be needed for the final construction plans for the development.

Stormwater Management

Stormwater management for the site was approved as part of the Interlaken development. The preliminary plat plans have been reviewed by the City Engineer and Public Services Director and the information provided is adequate for the application. Please note that the plans will require additional detailed review upon submittal of the final construction plans for Interlaken 8th Addition/Stonegate.

ZONING MAP AMENDMENT - PLANNED UNIT DEVELOPMENT (PUD):

The applicant has requested to amend the City of Waconia Zoning Map to rezone the subject parcel from the existing zoning of R-3, Medium Density Residential District to Planned Unit Development District (PUD) to allow for reduced setbacks and reduced lot sizing for a more densely populated single-family residential neighborhood. Table 1-1 below indicates the proposed PUD lot requirements for the Interlaken 8th Addition/Stonegate Preliminary Plat.

Table 1-1.	PUD, Planned Unit Development (Proposed Lot Requirements)
Lot Area	7,155 sq. ft. minimum
Lot Width	60 ft. minimum
Hardcover Surface	50% maximum per lot
Structure Height	45 ft. maximum
Front Yard Setback	25 ft. minimum
Rear Yard Setback – House	25 ft. minimum
Rear Yard Setback - Deck	15 ft. minimum
Side Yard Setback – Interior	7.5 ft./15ft. between buildings
Side Yard Setback – Street	25 ft. minimum
Building/Driveway Setback – Exterior R/W Lines	20 ft. minimum

* The proposed 20 ft. minimum setback for buildings and parking areas from any exterior PUD property line or abutting street is considered as part of the variance request submitted by the applicant.

Staff has reviewed the proposed lot requirements for the Interlaken 8th Addition/Stonegate single-family residential development and are comfortable with the setbacks and lot sizing proposed (as noted above).

Density

The net area of the parcel is 12.76 acres and the total number of proposed single-family residential units is 51. Based on the afore-mentioned information the residential site density is approximately 4 units per acre. The MetCouncil density requirement is 3 units per acre. The density of 4 units per acre is consistent with the City of Waconia’s Comprehensive Plan, which guides the property as M, Medium Density Residential. Medium Density Residential has a density range of 4 to 10 units per acre.

VARIANCE

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

1. Is the variance in *harmony with* the purposes and intent of the ordinance?
2. Is the variance *consistent with* the *comprehensive plan*?
3. Does the proposal put property to use in a *reasonable manner*?
4. Are there *unique circumstances* to the property not created by the landowner?
5. Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

VARIANCE ANALYSIS:

The property is currently zoned R-3, Medium Density Residential and the applicant has proposed a Zoning Map Amendment to rezone the property PUD, Planned Unit Development to allow for reduced lot sizing and reduced setbacks. If the Planning Commission indicates the rezoning is appropriate the applicant has requested consideration of a variance from the setback standards stated in the PUD Development Standards. Specifically, the City Ordinance requires a minimum building and parking setback from any exterior PUD property line or abutting street to be 40 feet. The applicant has requested, and indicated on the submitted plans, a minimum setback of 20 ft. for building and parking setbacks from the exterior PUD property line.

City staff has reviewed the requested setback variance request and are comfortable with the proposed 20 ft. setback versus the 40 ft. setback stated in City Code as the proposed reduced setback will primarily be used along the Somerwood Drive roadway corridor and this will allow for the housing product type to be developed at the minimum required density.

The Planning Commission should review the requested setback reduction based on the variance review criteria stated above and determine if the 20 ft. setback is appropriate for the Interlaken 8th Addition/Stonegate development.

PUBLIC NOTICE/COMMENT

The notices were published in the WACONIA PATRIOT on February 18th, 2016 and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the subject parcel. As of the date and time of this report the City has not received any comments regarding the proposed Interlaken 8th Addition/Stonegate residential development.

CONCLUSION / RECOMMENDATION

The Planning Commission should make a recommendation to the City Council regarding the Preliminary Plat application, the Zoning Map Amendment request, and the Variance application for the Interlaken 8th Addition/Stonegate residential development. Upon recommendation by the Planning Commission this item will be forwarded to the City Council for review at their upcoming meeting scheduled for March 21st, 2016.

If the Planning Commission chooses to recommend approval of the Interlaken 8th Addition/Stonegate Preliminary Plat, Zoning Map Amendment and Variance application, staff would recommend the approvals with the following conditions:

1. The Interlaken 8th Addition/Stonegate Preliminary Plat shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management. A copy of any approvals or permits shall be submitted prior to any land disturbing activities.
4. The applicant shall obtain a General Construction Stormwater Permit (NPDES) from the Minnesota Pollution Control Agency and submit a copy to the City prior to any land disturbing activities.
5. All indirect costs related to the permitting, review, and plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The City shall provide the necessary street signage. The applicant shall provide the necessary escrow funds to cover all street signage and installation costs.
7. The applicant shall provide a copy of the approved Carver County Trail Permit.
8. The plans shall conform to the staff review memo dated February 16th, 2016 and the Bolton and Menk memo dated February 26th, 2016.
9. The watermain, sanitary sewer, grading, and stormwater issues shall be resolved to the satisfaction of the City Engineer and Public Services Director prior to the issuance of the building permit for the Interlaken 8th Addition/Stonegate development.
10. Compliance with applicable items contained in Chapter 1000 of the City of Waconia Subdivision Ordinance.
11. Execution of a Developer's Agreement for the Final Plat.
12. Parking shall only be allowed on one side of the street. The other side of the street shall be signed no parking accordingly to allow emergency vehicle access.
13. The applicant shall file an application of final plat approval within six (6) months following the approval of the Interlaken 8th Addition/Stonegate Preliminary Plat, unless an extension of time is requested in writing by the subdivider and granted by the Council prior to the six (6) month expiration date.

ATTACHMENTS:

Attachment 1: Public Hearing Notices (3 pages)

Attachment 2: Location Map (1 page)

Attachment 3: Staff Review Comments dated February 16th, 2016 with Applicant Response (3 pages)

Attachment 4: City Engineer Memo dated February 26th, 2016 (1 pages)

Attachment 5: Preliminary Plans – Plat, Grading, Utilities, Streets and Landscape dated 2/4/16 and revised 2/22/16 (8 pages)

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Waconia, MN, will hold a public hearing on Thursday, March 3rd, 2016 at 6:30 p.m., at the Waconia City Hall, 201 South Vine Street, Waconia, MN, to consider a Preliminary Plat application submitted by Hartman Communities, LLC for the property located at 1150 Somerwood Drive and legally described as follows:

OUTLOT A, INTERLAKEN 4th ADDITION,
CARVER COUNTY, MINNESOTA

The proposed Preliminary Plat is for the 15.28 acre parcel of land west of Somerwood Drive and south of Airport Road, and includes 51 single-family residential lots. Pertinent information is on file at the City Office.

Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, March 3rd, 2016. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387
Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION
ATTEST: Lane L. Braaten, Community Development Director

(Published in the February 18th, 2016 Waconia Patriot newspaper)

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Waconia, MN, will hold a public hearing on Thursday, March 3rd, 2016 at 6:30 p.m., at the Waconia City Hall, 201 South Vine Street, Waconia, MN, to consider a Variance request submitted by Hartman Communities to exceed the Planned Unit Development District standards for the property located at 1150 Somerwood Drive.

The applicant is requesting approval of a variance to allow a minimum setback of 20 ft. for building and parking areas from any exterior PUD property line or abutting street versus the required 40 ft. minimum setback stated in the PUD, Planned Unit Development District.

Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, March 3rd, 2016. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387
Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION
ATTEST: Lane L. Braaten, Community Development Director

(Published in the February 18th, 2016 Waconia Patriot newspaper)

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

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OUTLOT A, INTERLAKEN 4th ADDITION,
CARVER COUNTY, MINNESOTA

The 15.28 acre parcel is located west of Somerwood Drive and south of Airport Road. The request is for the property to be rezoned from R-3 Medium Density Residential District to Planned Unit Development District and is being made to accommodate the consideration of a new, small lot, single-family residential housing development.

Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, March 3rd, 2016. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387
Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION

ATTEST: Lane L. Braaten, Community Development Director

(Published in the February 18th, 2016 Waconia Patriot newspaper)

LOCATION MAP—1150 SOMERWOOD DRIVE



City of Waconia Review #1
February 16th, 2016
Interlaken 8th Addition – Hartman Communities

This review is based on City staff's initial review of the Preliminary Plat documents dated 02/04/16 and submitted to my office on 02/04/16. **Westwood responses are indicated in red, dated 2/23/2016.**

Preliminary Plat

- 1) The proposed street right-of-way widths are 60 feet and the proposed street widths are 34 feet. Both of these are consistent with City standards and are consistent with previous phases of this development. **Noted.**
- 2) Proposed street names shall be provided. The names heretofore used in the City or its environs shall not be used unless the proposed street is an extension of an already named street, in which event said name shall be used. **Street names have been provided on the revised plans.**
- 3) Street lighting plan shall be submitted and reviewed by City Staff prior to final plat approval. **Noted.**
- 4) Development Data – Zoning Standards (Proposed Minimums)
 - a) The Zoning Standards information indicated in the Preliminary Plat shall be updated to reflect the 50% maximum impervious surface allowed per parcel. This will in turn be considered as part of the PUD review. **PUD standards have been updated to reflect the 50% lot coverage maximum.**
- 5) The Preliminary Plat document shall be updated to reflect the closest point of the building and parking setback from the exterior PUD property line or abutting street. The applicant has proposed a minimum setback of 20 ft., but the closest point should be reflected on the Preliminary Plat. **The PUD standards have been updated to reflect the minimum setback, and actual setback dimensions are illustrated on the preliminary plat sheet 3 as well.**
- 6) Boulevard sodding shall be required. **Understood; a note has also been added to the landscape plan sheet 8.**
- 7) Pedestrian Ways and Trails
 - a) The proposed trail section located within Outlot A on the southwest corner of the property should provide trail access to the proposed trail section along the north side of County Road 10 (Engler Blvd.) in addition to the connection shown to the existing trail along Main Street. **An additional trail leg has been added to connect to the CR 10 trail.**
 - b) Easements should exist to cover the proposed trail connection from the city street to the trails in the southeast and southwest corners of the site. **Easements will be prepared for the trails within Outlot A at the time of final plat.**
 - c) The proposed sidewalk along Somerwood is partially within the city right-of-way and partially within Outlot A/Outlot B. Additional right-of-way should be dedicated to the City or the ownership and maintenance of this facility needs to be clearly defined. **As is currently the case for the sidewalks on the east side of Somerwood, our proposed sidewalks are shown at a consistent 6' offset from the existing street curb and thus lay partially within the R/W. We would propose that ownership and maintenance of the sidewalks be considered a city facility (as is the case on the other side of the street), and without any further R/W dedication. An easement covering the sidewalks within Outlot A & B can be provided at time of final plat.**
 - d) The proposed trail along CSAH 10 is within the County right-of-way. County coordination and a permit for the trail and grading within the right-of-way will be required. **Noted; given the request for this trail connection came from the City, we would anticipate the City's support and/or assistance in future coordination and permitting with the County.**

Preliminary Utility Plan

- 8) The existing water system as well as the existing wastewater conveyance system is adequate to serve the additional 51 units. All utility final design will require additional review with the final construction plans. **Noted.**
- 9) The hydrant located at Lot 4/5, Block 1 should be moved to Lot 7/8, Block 1 to place it at the high point of the development and allow for better hydrant spacing. **Plans have been revised to shift this hydrant location as requested.**
- 10) Storm sewer sizing calculations and design profiles will be required as part of the final design documents. **Noted.**
- 11) Draintile is required to be extended 50' each direction from each low point. Cleanouts are required at tile end points. **Noted; final plans will reflect this requirement.**
- 12) Sump pump service connections are required to all lots. **Noted; final plans will reflect this requirement.**

Grading, drainage, and erosion control plan

- 13) Biolog ditch checks should be included in swale areas (north side of the site). **Plans have been revised as requested.**
- 14) A minimum of a 1-foot separation should exist between the low opening of a home and the proposed EOF. The grading near the westerly EOF needs to be modified or the homes on Lot 16 and Lot 17 need to be raised. The proposed EOF route in this area needs to be clearly defined. **Plans have been revised as requested.**
- 15) Rock construction entrances should be included at both access points to Somerwood Drive. **Plans have been revised as requested.**
- 16) The City is planning to construct the trail near the underpass at the southeast corner of this site. The proposed silt fence needs to be contained within Outlot A and coordination of construction operations / final grading in this area needs to occur. **Noted; Plans have been revised to identify this trail section as "by city" and silt fence locations have been accordingly.**

Street profile

- 17) The proposed street grades and vertical curves are all adequate. **Noted.**

Details

- 18) The erosion control details included with the submittal are adequate. **Noted.**
- 19) Additional details for utilities, street section, and the trail section will be reviewed with the final design documents. **Noted.**

Landscaping

- 20) Preliminary Plant Schedule
 - a) Revise the Street Tree plant schedule to remove Ironwood, River Birch and Whitespire Birch. The City Forester has indicated that said trees are acceptable as Yard Trees, but not as front yard Blvd. trees. **Plans have been revised to clearly note which trees are acceptable street species versus yard only trees. Final plans will specify and quantify the landscape tree selections.**
 - b) Further, the City Forester has indicated that any of the future Yard Trees may be appropriate as Street Trees. **Noted.**
 - c) The Evergreen planting schedule indicates a total of 139 trees to be planted. Please note that the Colorado Green Spruce should not exceed 10% of this total count per the City Forester. **Noted; Final plans will specify and quantify the landscape tree selections.**

General comments

- 21) The required City stormwater management and ponding requirements were achieved with earlier phases of the development. However, a permit from the Carver County Water Management Organization or confirmation from them that their requirements are met is still required. **Noted.**
- 22) An NPDES stormwater permit, or update to an existing permit, is required before any land disturbing activities. **Noted.**
- 23) The amount and quality of existing topsoil on the site is a concern. A topsoil management plan is recommended to be included with the final design documents. **Noted.**
- 24) The need for signage and crosswalk striping will be evaluated with the final design documents. **Noted.**



BOLTON & MENK, INC.

Consulting Engineers & Surveyors

2638 Shadow Lane, Suite 200 • Chaska, MN 55318-1172

Phone (952) 448-8838 • Fax (952) 448-8805

www.bolton-menk.com

***** MEMO *****

DATE: February 26, 2016

TO: Lane Braaten, City of Waconia

CC: Craig Eldred, Public Services Director

FROM: Jake Saulsbury, P.E., Bolton & Menk

SUBJECT: Interlaken 8th Addition (Stonegate) – Preliminary Plat Review

Bolton & Menk has received additional information for the proposed Interlaken 8th Addition in the City of Waconia. This recent submittal was the second iteration of the preliminary plat and preliminary plans that were provided to us. Based on this information and revised plans received on February 22, 2016, the preliminary plat of the project is approved with respect to engineering items with the following conditions:

- Provide a copy of the approved Carver County Water Management Organization permit and the approved Carver County trail permit.
- Provide easement documents and legal descriptions for the sidewalk along Somerwood Drive. This can be done as part of the final plat.
- Provide draintile at the low points and sump pump service connections to all homes. This can be completed as part of the construction plans.

This completes our review of the proposed project for the preliminary plat phase. Please note additional detailed reviews will be needed for the final construction plans. Please contact our office with any questions or concerns you may have.

Preliminary Plans

for

Plat, Grading, Utilities, Streets and Landscape

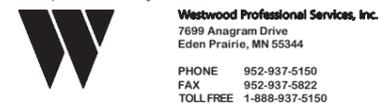
for

Stonegate Waconia, Minnesota

Prepared for:

Hartman Communities
1750 Tower Boulevard, Suite 201
Victoria, Minnesota 55386
Contact: Terry Hartman
Phone: 952-368-4545
Fax: 952-368-4546

Prepared by:

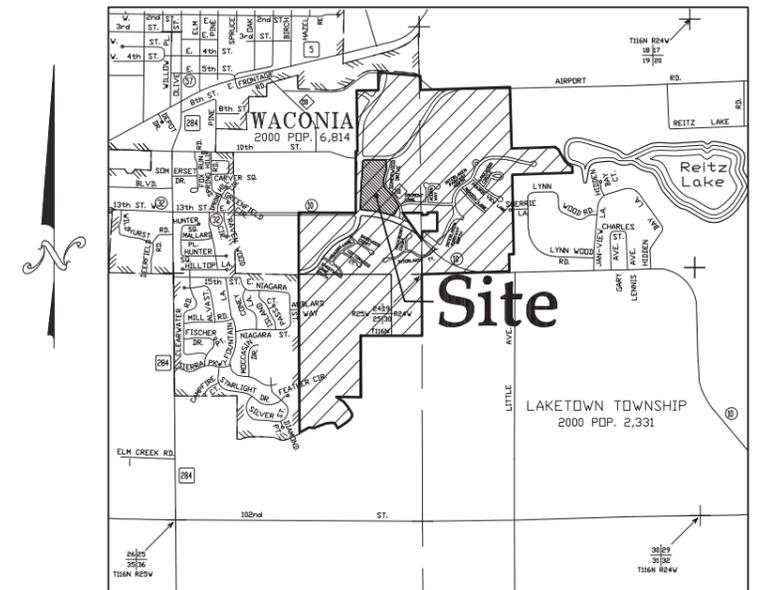


Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150

Project number: 0007045.00
Contact: Cory L. Meyer

Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Existing Conditions
3	Preliminary Plat
4	Preliminary Grading, Drainage and Erosion Control Plan
5	Preliminary Utility Plan
6	Street Profiles
7	Details
8	Preliminary Landscape Plan

Vicinity Map



(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	02/22/16	CITY COMMENTS	ALL

NOT FOR CONSTRUCTION

Preliminary Plans

for
Plat, Grading, Utilities, Streets and Landscape

for
Stonegate
Waconia, Minnesota

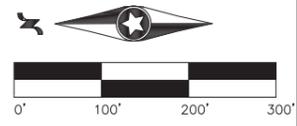
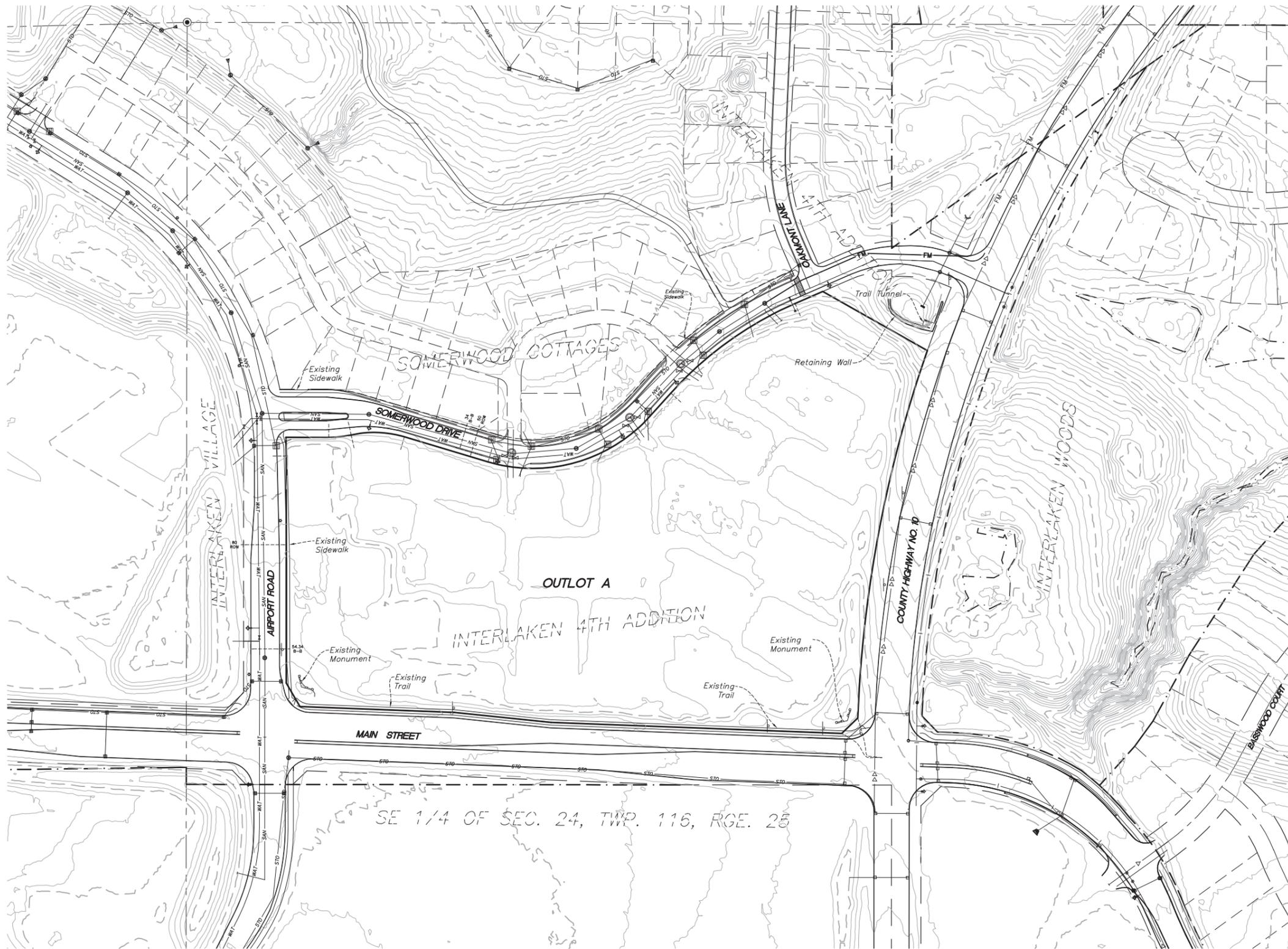
Date: 02/04/16 Sheet: 1 of 8

Existing Property Description:

Outlot A, INTERLAKEN 4TH ADDITION, according to the recorded plat thereof, Carver County, Minnesota.

Legend:

	BUSH/SHRUB		STORM MANHOLE
	CONIFEROUS TREE		TELEPHONE BOX
	DECIDUOUS TREE		TELEPHONE MANHOLE
	WETLAND		TRAFFIC CONTROL BOX
	STEEL/WOOD POST		HAND HOLE
	SIGN-TRAFFIC/OTHER		TRAFFIC LIGHT
	SIGN-TRAFFIC/OTHER		GATE VALVE
	MAIL BOX		HYDRANT
	HANDICAPPED STALL		WATER METER
	PERC TEST		CURB STOP BOX
	MONITORING WELL		WATER MANHOLE
	CABLE TV BOX		WELL
	GAS METER		CABLE TV
	STREET LITE		GAS LINE
	GUY WIRE		POWER OVERHEAD
	POWER POLE		POWER UNDERGROUND
	ELECTRIC BOX		SANITARY SEWER
	ELECTRIC METER		STORM SEWER
	ELECTRIC MANHOLE		TELEPHONE OVERHEAD
	ELECTRIC TOWER		TELEPHONE UNDERGROUND
	SANITARY MANHOLE		WATERMAIN
	SEWER CLEANOUT		FENCE LINE
	BEEHIVE CATCH BASIN		DECIDUOUS TREE LINE
	CATCH BASIN		CONIFEROUS TREE LINE
	FLARED END SECTION		CURB & GUTTER
	CONCRETE SURFACE		BITUMINOUS SURFACE



NOT FOR CONSTRUCTION

0007045EXP01.dwg

Date: 02/04/16 Sheet: 2 OF 8

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 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LAND SURVEYOR under the laws of the State of Minnesota.

Craig W. Morse
 Date 02/22/2016 License No. 23021

Revisions
02/22/2016 CITY COMMENTS

Designed:	EMJ
Checked:	CLJ
Drawn:	HW
Record Drawing by/date:	

Prepared for:

Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Stonegate

Waconia, Minnesota

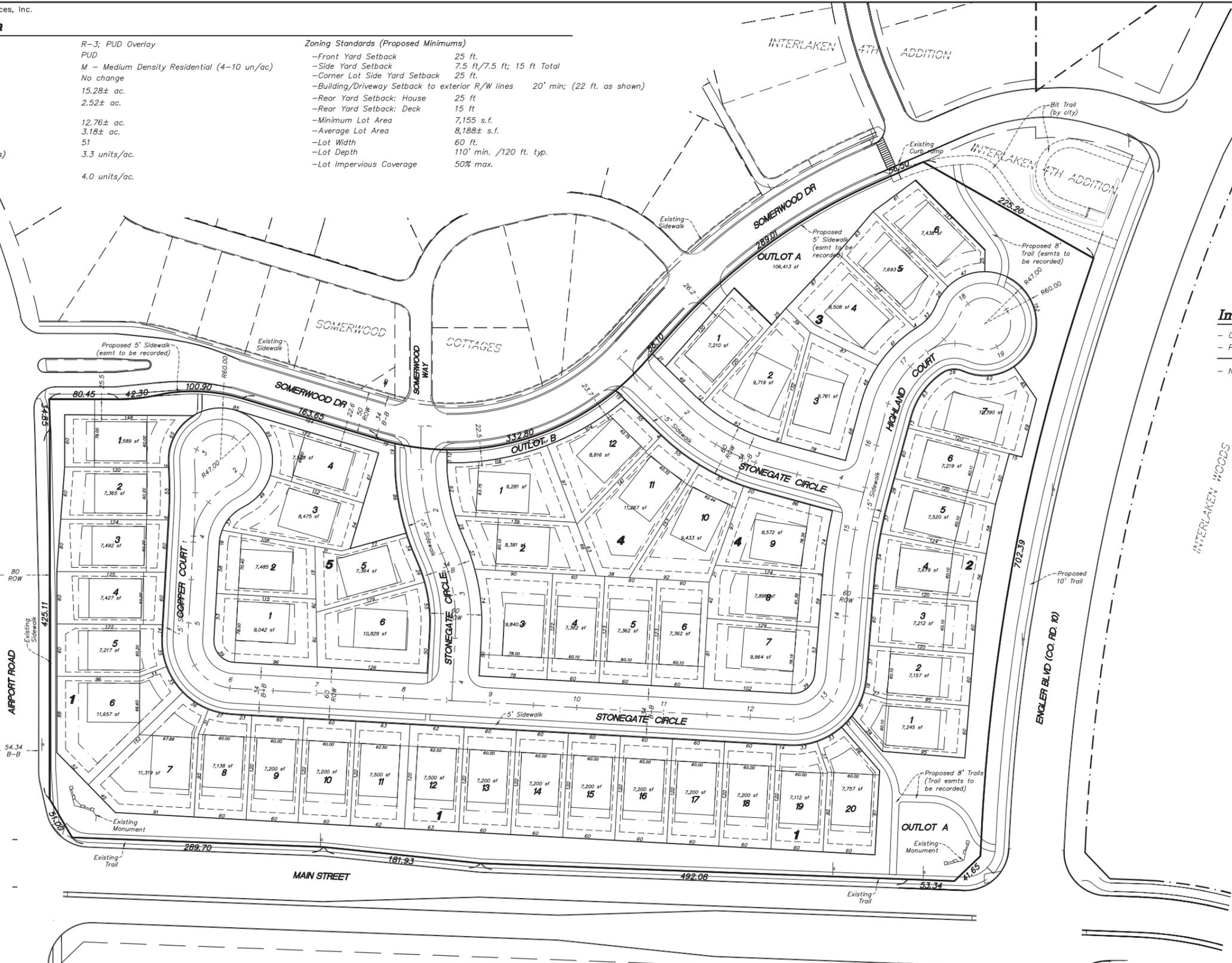
Existing Conditions

Development Data

Existing Zoning: R-3; PUD Overlay
 Proposed Zoning: PUD
 Existing Guiding: M - Medium Density Residential (4-10 un/ac)
 Proposed Guiding: No change
 Total Site Area: 15.28± ac.
 Permanent Open Space: 2.52± ac.
 - Buffer Outlots A & B
 Net Site Area: 12.76± ac.
 Road Right of Way: 3.18± ac.
 Total Residential Units: 51
 Residential Site Density (Gross): 3.3 units/ac.
 (51 un/15.28 ac)
 Residential Site Density (Net): 4.0 units/ac.
 (51 un/12.76 ac)

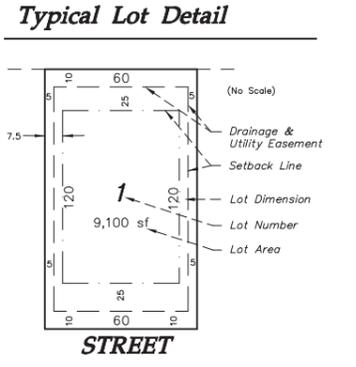
Zoning Standards (Proposed Minimums)

- Front Yard Setback: 25 ft.
- Side Yard Setback: 7.5 ft/7.5 ft; 15 ft Total
- Corner Lot Side Yard Setback: 25 ft.
- Building/Driveway Setback to exterior R/W lines: 20' min; (22 ft. as shown)
- Rear Yard Setback: House: 25 ft
- Rear Yard Setback: Deck: 15 ft
- Minimum Lot Area: 7,155 s.f.
- Average Lot Area: 8,188± s.f.
- Lot Width: 60 ft.
- Lot Depth: 110' min. /120 ft. typ.
- Lot Impervious Coverage: 50% max.

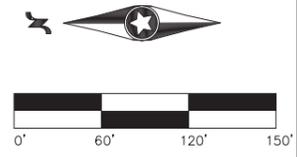


Impervious Analysis:

- Original Interlaken Attached Plan:	405,206.34 sf (9.30 ac)
- Proposed Interlaken 8th Addition Plan:	268,206.41 sf (6.18 ac)
- Net Reduction in Impervious:	136,999.93 sf (3.12 ac)



Existing Property Description:
 Outlot A, INTERLAKEN 4TH ADDITION, according to the recorded plat thereof, Carver County, Minnesota.



NOT FOR CONSTRUCTION

SE 1/4 OF SEC. 24, TWP. 116, RGE. 25

Westwood
 Phone (952) 937-5150 7699 Anagram Drive
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 Toll Free (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LAND SURVEYOR under the laws of the State of Minnesota.
 Revisions: 02/22/2016 CITY COMMENTS
 Date: 02/22/2016 License No. 23021
 Craig W. Morse

Designed: _____
 Checked: _____
 Drawn: _____
 Record Drawing by/date: _____

Prepared for:
Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Stonegate
 Waconia, Minnesota

Date: 02/04/16 Sheet: 3 OF 8
 0007045PPP01.dwg
Preliminary Plat



- GENERAL NOTES:**
- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
 - REFER TO THE FINAL PLAT OR SITE PLAN FOR CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS
 - ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED.
 - THE GRADING CONTRACTOR MUST BE AWARE OF ALL EXISTING AND PROPOSED UTILITIES.
 - ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
 - HAULING HOURS MUST BE CONFIRMED WITH THE CITY PRIOR TO BEGINNING WORK.
 - THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
 - SEE SWPPP FOR ADDITIONAL EROSION CONTROL AND TURF ESTABLISHMENT REQUIREMENTS.

Legend:

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING WETLAND
- DENOTES TREE PROTECTION FENCE



NOT FOR CONSTRUCTION

0007045GDP01.dwg

Date: **02/04/16** Sheet: **4 OF 8**

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 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
 Ryan M. Bluhm
 Date: **02/22/2016** License No. **41257**

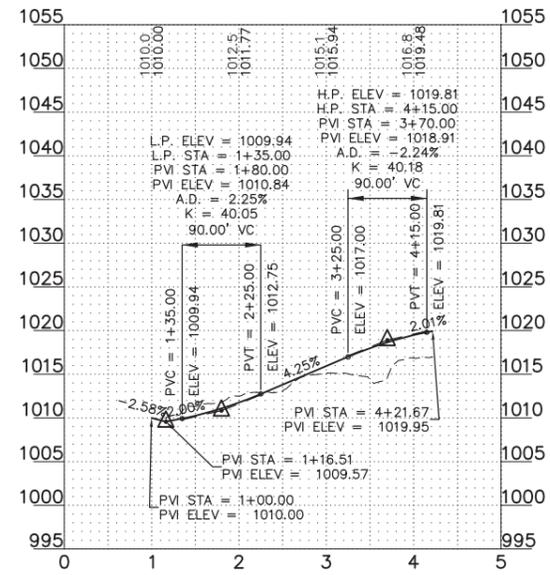
Revisions:
 02/22/2016 CITY COMMENTS

Designed: **EMR**
 Checked: **CLJ**
 Drawn: **HW**
 Record Drawing by/date:

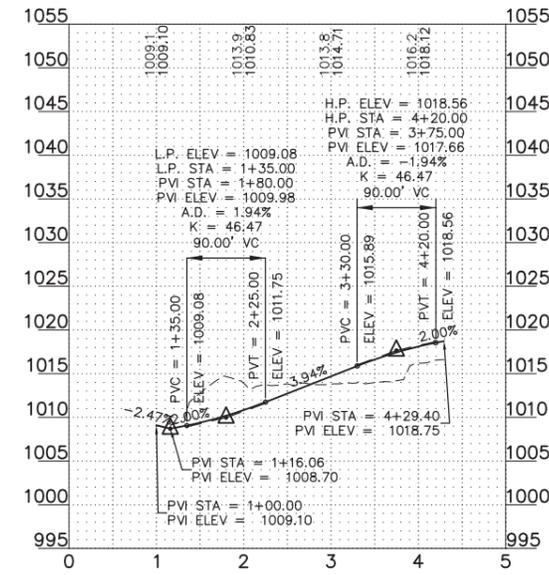
Prepared for:
Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Stonegate
 Waconia, Minnesota

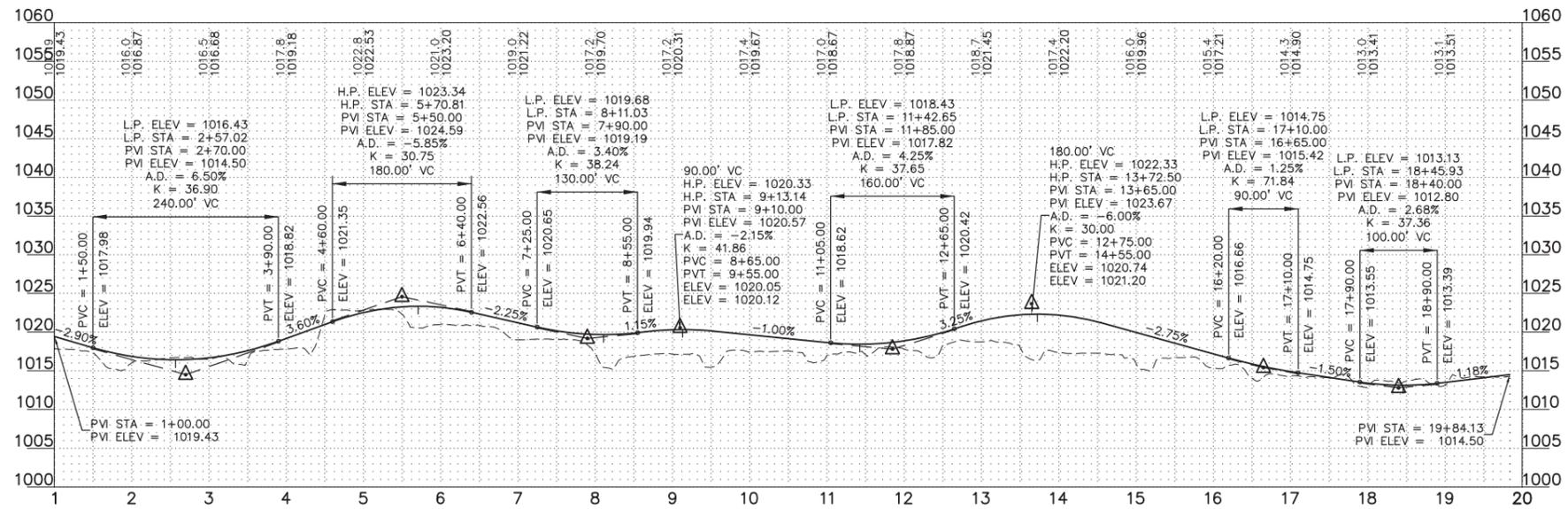
**Preliminary Grading,
 Drainage and Erosion
 Control Plan**



Stonegate Circle



Stonegate Circle



Copper Court
(Sta. 0+00 to Sta. 8+56)

Stonegate Circle
(Sta. 8+56 to Sta. 15+44)

Highland Court
(Sta. 15+44 to Sta. 19+84)



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00070450TP01.dwg

Date: 02/04/16 Sheet: 6 OF 8

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Ryan M. Bluhm
 Date: 02/22/2016 License No. 41257

Revisions	Checked	Drawn	Record Drawing by/date
02/22/2016 CITY COMMENTS	EMR	CLJ	HW

Designed: EMR
 Checked: CLJ
 Drawn: HW
 Record Drawing by/date:

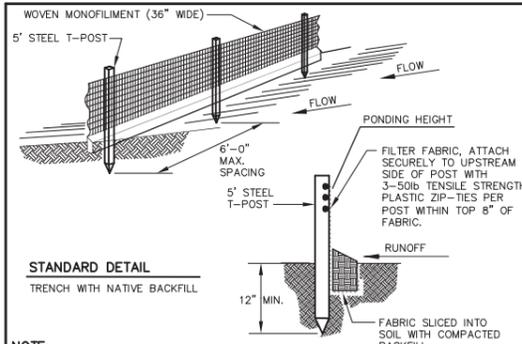
Prepared for:

Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Stonegate

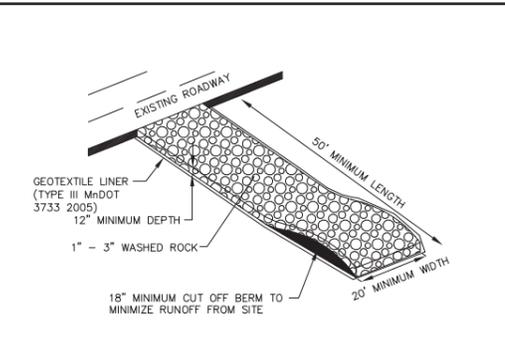
Waconia, Minnesota

Street Profiles



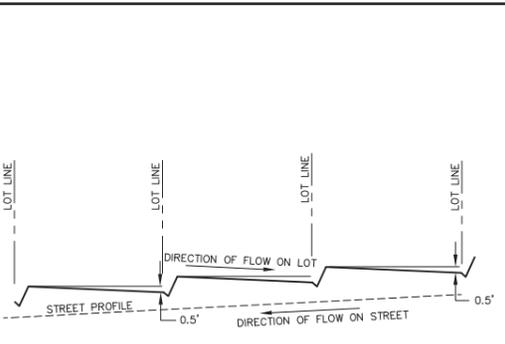
- NOTE:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN ACCUMULATED TO 1/3 THE HEIGHT OF THE FABRIC OR MORE.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4. ALL ENDS OF THE SILT FENCE SHALL BE WRAPPED UPSLOPE SO THE ELEVATION OF THE BOTTOM OF FABRIC IS HIGHER THAN "PONDING HEIGHT".
 5. "HEAVY DUTY" IS SAME AS MACHINE SLICED ONLY HAND INSTALLED.

MACHINE SLICED SILT FENCE (HEAVY DUTY)
 LAST REVISED: 03/03/08
 GDD3

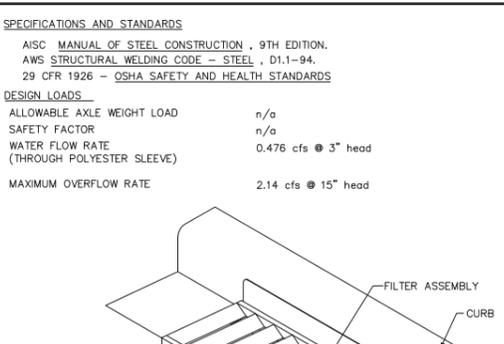


- NOTE:**
- ROCK CONSTRUCTION ENTRANCE SHOULD BE A MINIMUM THICKNESS OF 1.0' AND CONTAIN MAXIMUM SIDE SLOPES OF 4:1. ROCK ENTRANCE SHOULD BE INSPECTED AND MAINTAINED REGULARLY. ROCK ENTRANCE LENGTH MAY NEED TO BE EXTENDED IN CLAY SOILS.

ROCK CONSTRUCTION ENTRANCE
 LAST REVISED: 03/03/08
 GD05

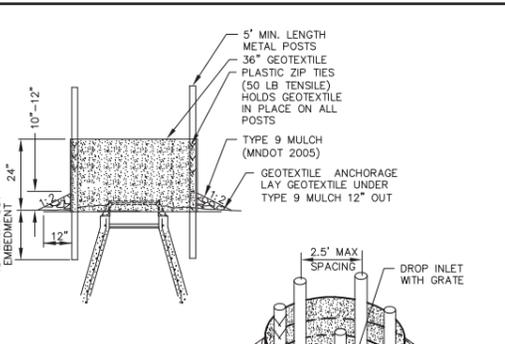


LOT BENCHING
 LAST REVISED: 03/03/08
 GD07



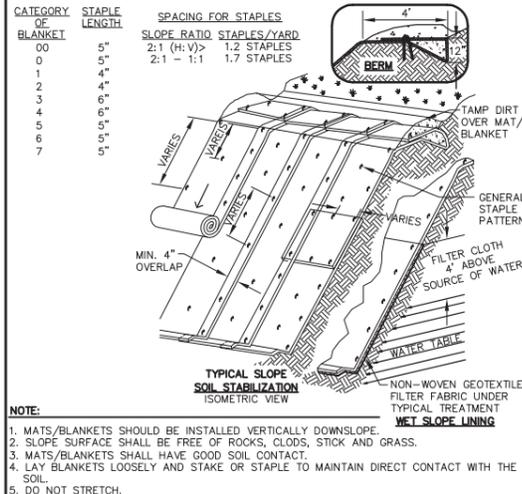
- SPECIFICATIONS AND STANDARDS**
- AISC MANUAL OF STEEL CONSTRUCTION, 9TH EDITION.
 AWS STRUCTURAL WELDING CODE - STEEL, D1.1-94.
 29 CFR 1926 - OSHA SAFETY AND HEALTH STANDARDS
- DESIGN LOADS**
- | | |
|--|---------------------|
| ALLOWABLE AXLE WEIGHT LOAD | n/a |
| SAFETY FACTOR | n/a |
| WATER FLOW RATE (THROUGH POLYESTER SLEEVE) | 0.476 cfs @ 3" head |
| MAXIMUM OVERFLOW RATE | 2.14 cfs @ 15" head |
- NOTE:**
1. STREET CONTRACTOR TO INSTALL AFTER CURB & GUTTER IS INSTALLED. MAINTAIN UNTIL SITE IS STABILIZED.

ROAD DRAIN CG-23 "WIMCO" CURB INLET PROTECTION
 LAST REVISED: 03/03/08
 GD12

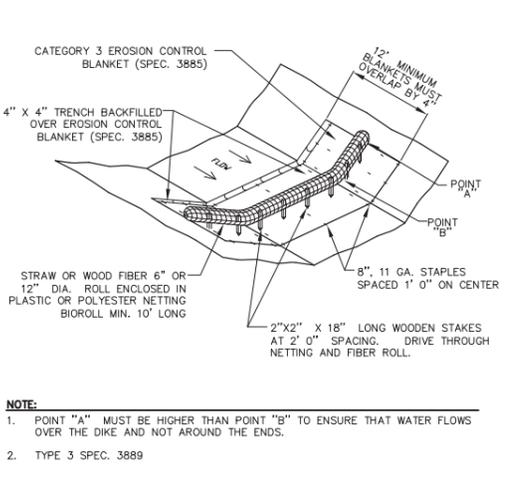


- NOTE:**
1. ALL GEOTEXTILE USED FOR INLET PROTECTION SHALL BE MONOFILAMENT IN BOTH DIRECTIONS, MEETING SPEC. 3886 (2005 EDITION) FOR MACHINE SLICED.

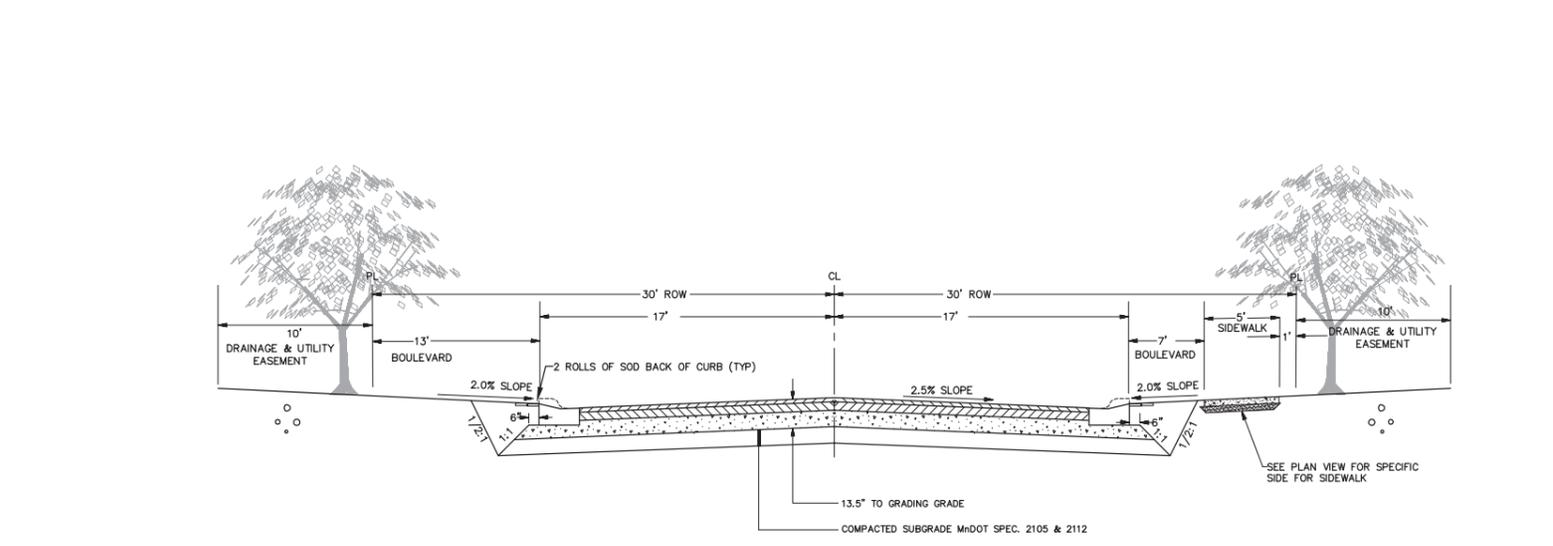
SILT FENCE RING ROCK BARRIER COMBINATION
 LAST REVISED: 03/03/08
 GD15



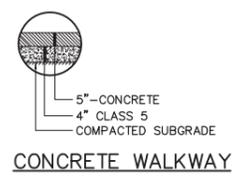
TEMPORARY EROSION BLANKETS TURF REINFORCEMENT MATS FOR SLOPES
 LAST REVISED: 03/03/08
 GD21



TEMPORARY BIOROLL BLANKET SYSTEM (DITCH APPLICATION)
 LAST REVISED: 03/03/08
 GD23



TYPICAL LOCAL STREET SECTION (34' BACK TO BACK)
 REFER TO PLAN SHEET FOR DIMENSIONS & EXACT SIDEWALK LOCATION



CONCRETE WALKWAY

NOT FOR CONSTRUCTION

Date: 02/04/16 Sheet: 7 OF 8

Stonegate

Waconia, Minnesota

Details

Westwood

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 Westwood Professional Services, Inc.

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Ryan M. Bluhm
 Date: 02/22/2016 License No. 41257

Revisions:

02/22/2016	CITY COMMENTS

Designed:	EMR
Checked:	CLJ
Drawn:	HW
Record Drawing by/date:	

Prepared for:

Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Landscape Requirement Calculations

INDIVIDUAL LOT REQUIREMENTS:	2 PER LOT
OVERALL TOTAL TREES REQUIRED:	102 (2 TREES PER LOT)
OVERALL TOTAL SPECIES PROVIDED:	270 (LOT & BUFFER PLANTINGS)
DECIDUOUS OVERSTORY:	115 (43%)
EVERGREEN:	139 (51%)
ORNAMENTAL:	16 (6%)

- NOTES:
- ALL BUFFER PLANTINGS TO BE HOA MAINTAINED.
 - NO LANDSCAPING SHALL EXTEND WITHIN 10 FEET OF ANY DRIVEWAY OPENING ONTO A STREET, NOR CLOSER THAN 10' FROM UNDERGROUND STORM SEWER OR FIRE HYDRANTS.
 - STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.
 - TREES INSTALLED AT FRONT OF INDIVIDUAL LOTS SHALL BE PLANTED IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
 - NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - YARD TREE SPECIES WILL BE SELECTED FROM APPROVED SPECIES LIST (SEE FINAL PLANT SCHEDULE) OR AS APPROVED BY CITY FORESTER.



Preliminary Plant Schedule

SYMBOL	QTY.	COMMON/BOTANICAL NAME	SIZE		
STREET TREES	64	Sugar Maple / <i>Acer saccharum</i>	2.5" BB		
		Autumn Blaze Maple / <i>Acer x freemanii 'Jeffers Red'</i>	2.5" BB		
		Northwood Maple / <i>Acer rubrum 'Northwood'</i>	2.5" BB		
		Imperial Honeylocust / <i>Gleditsia triacanthos var. inermis 'Impcole'</i>	2.5" BB		
		Skyline Honeylocust / <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	2.5" BB		
		Northern Pin Oak / <i>Quercus ellipsoidalis</i>	2.5" BB		
		Red Oak / <i>Quercus rubra</i>	2.5" BB		
		Swamp White Oak / <i>Quercus bicolor</i>	2.5" BB		
		Redmond Linden / <i>Tilia americana 'Redmond'</i>	2.5" BB		
		Greenspire Linden / <i>Tilia cordata 'Greenspire'</i>	2.5" BB		
FUTURE YARD TREES by BUILDER	51	Discovery Elm / <i>Ulmus davidiana var. japonica 'Discovery'</i>	2.5" BB		
		Princeton Elm / <i>Ulmus americana 'Princeton'</i>	2.5" BB		
		Accolade Elm / <i>Ulmus japonica x wilsoniana 'Morton'</i>	2.5" BB		
		ADDITIONAL YARD TREE SELECTION OPTIONS (in addition to street tree species above)			
		Ironwood / <i>Ostrya virginiana</i>	2.5" BB		
		River Birch / <i>Betula nigra</i>	2.5" BB		
		Whitespire Birch / <i>Betula populifolia 'Whitespire'</i>	2.5" BB		
		ORNAMENTAL	16	Thornless Cockspur Hawthorn / <i>Crataegus crusgalli 'Inermis'</i>	2" BB
				Japanese Tree Lilac / <i>Syringa reticulata</i>	6' HT., BB CLUMP
				Allegheny Serviceberry / <i>Amelanchier laevis</i>	6' HT., BB CLUMP
Quaking Aspen / <i>Populus tremuloides</i>	2" BB				
Prairie Rose Crab / <i>Malus 'Prairie Rose'</i>	2" BB				
Sparkler Crab / <i>Malus 'Sparkler'</i>	2" BB				
Profusion Crab / <i>Malus 'Profusion'</i>	2" BB				
Spring Snow Crab / <i>Malus 'Spring Snow'</i>	2" BB				
Red Splendor Crab / <i>Malus 'Red Splendor'</i>	2" BB				
EVERGREEN	139			Black Hills Spruce / <i>Picea glauca densata</i>	6' HT., BB
		Colorado Green Spruce / <i>Picea pungens (max of 10%)</i>	6' HT., BB		
		Austrian Pine / <i>Pinus nigra</i>	6' HT., BB		
		Norway Pine / <i>Pinus resinosa</i>	6' HT., BB		
		Scotch Pine / <i>Pinus sylvestris</i>	6' HT., BB		
		White Pine / <i>Pinus strobus</i>	6' HT., BB		

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY. SEE FINAL LANDSCAPE PLANS FOR SPECIFIC TREE QUANTITIES AND SELECTIONS

Planting Notes

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (COMMON TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE AND MAINTENANCE AREAS. TREES TO RECEIVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL.
- ALL DISTURBED AREAS TO BE SODDED, UNLESS OTHERWISE NOTED. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SOD TO BE REGIONALLY GROWN BLUEGRASS MIX TURF SOD.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE DEVELOPER.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.



NOT FOR CONSTRUCTION

0007045PLP01.dwg

Date: 02/04/16 Sheet: 8 OF 8

Westwood

Phone (952) 937-5150 7699 Anagram Drive
 Fax (952) 937-5822 Eden Prairie, MN 55344
 Toll Free (888) 937-5150 westwoodgs.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

Cory Meyer
 Date: 02/22/2016 License No. 26971

Revisions:
 02/22/2016 CITY COMMENTS

Designed:
 Checked:
 Drawn:
 Record Drawing by/date:

Prepared for:

Hartman Communities
 1750 Tower Boulevard, Suite 201
 Victoria, Minnesota 55386

Stonegate

Waconia, Minnesota

Preliminary Landscape Plan



REQUEST FOR PLANNING COMMISSION CONSIDERATION

Meeting Date:	March 3 rd , 2016				
Item Name:	Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage and driveway on the property located at 425 Lake Street West.				
Originating Department:	Planning and Zoning				
Presented by:	Angie Perera, Assistant Planner				
Previous Commission Action (if any):	None				
Item Type (X only one):	<table border="1"> <tr> <td>Consent</td> <td>Regular Session</td> <td><input checked="" type="checkbox"/></td> <td>Discussion Session</td> </tr> </table>	Consent	Regular Session	<input checked="" type="checkbox"/>	Discussion Session
Consent	Regular Session	<input checked="" type="checkbox"/>	Discussion Session		

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Open Public Hearing

Motion to close the Public Hearing

Motion recommending either approval or denial of the proposed Variance Application to allow reduced setbacks for building and improvements and to exceed impervious surface area requirements per City Ordinance.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND:

Applicant: Ben and Lauren McQuillan

Owner: Ben McQuillan

Address: 425 Lake St. W.

P.I.D. #: 750503320

Legal Description: Lot 18, Block 34, City Lots of Waconia

Zoning District: R-4, Mixed Residential District (Lot width of 55 ft. or greater) & Shoreland Overlay District

Comprehensive Plan Designation: L – Low Density Residential

The property is currently a legal non-conforming lot since it currently exceeds the maximum impervious surface area (ISA) allowed and the existing accessory structure (detached garage) does not meet the minimum setback requirements allowed per City Ordinance.

REQUEST:

The City has received a Variance Application from Ben and Lauren McQuillan (the “applicants”) to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage on the property located at 425 Lake Street West.

The applicants are requesting approval of two variances:

- 1) To exceed the 25 percent maximum impervious surface area allowed in the Shoreland Overlay District; and
- 2) To allow an accessory structure (detached garage) and driveway to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley.

APPLICABLE ORDINANCE PROVISIONS:

- 1) Section 900.04 – Definitions
- 2) Section 900.05 – District Regulations, Subd. 2.A – R-1, Single-Family Residential District
- 3) Section 900.06 – Supplementary Regulations, Subd. 1.C – Accessory Structures, Recreational Vehicles, and Other Matters
- 4) Section 900.06 – Supplementary Regulations, Subd. 7. Shoreland Overlay Regulations
- 5) Section 900.09 – Off-Street Parking, Loading, & Access Regulations, Subd. 3. Traffic Access Regulations
- 6) Section 900.12 – Administration, Enforcement and Procedures, Subd. 4 – Variances

DEFINITIONS:

- 1) Accessory Structure: A structure subordinate to, and serving the principal structure on the same lot and customarily incidental thereto.
- 2) Hardcover Surface (aka: Impervious Surface Area or ISA): Any structure or material that substantially reduces or prevents the infiltration of storm water into the ground including, but not limited to, buildings, other structures, and driveways and parking areas surfaced with any type of pavement or gravel.

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

- 1) Is the variance in *harmony with* the purposes and intent of the ordinance?
- 2) Is the variance *consistent with* the *comprehensive plan*?
- 3) Does the proposal put property to use in a *reasonable manner*?
- 4) Are there *unique circumstances* to the property not created by the landowner?
- 5) Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

VARIANCE ANALYSIS:

Accessory Structure Requirements:

Minimum Setback Requirements:

Front Yard Setback (north side) = 25 ft.

Side Yard Setback (west & east sides) = 10 ft.

Rear Yard Setback (south side) = 10 ft.

Alley Setback (south side) = 10 ft.

Variance # 1 (setbacks) - The proposed structure will be placed in the southwest corner of the property and will NOT comply with the minimum setback requirements. According to the certificate of survey dated 02/25/16, the proposed accessory structure will have reduced setbacks of 2 ft. from the west/side lot line and 4 ft. from the south/rear lot line and alley. There are no drainage and utility easements located on the property to be concerned with.

Aggregate Coverage:

Maximum Hardcover Surface Area: 25% (Shoreland Overlay District)

Maximum Total Floor Area of all Accessory Structures: No more than 1,000 sq. ft. based on a lot size less than 10,500.

Existing Hardcover/Impervious Surface Area = 2,296 sq. ft. & 33.91% of the lot

Proposed Hardcover/Impervious Surface Area = 2,587 sq. ft. & 29.98% of the lot

Variance # 2 (hardcover/impervious surface area) - The existing accessory structure (detached garage) is proposed to be demolished and replaced with a new accessory structure (detached garage) and other site improvements (guest parking on grass pavers in the south east corner of the property) that will result in NOT complying with the 25% maximum hardcover surface area allowed. The proposed garage is an “L” shaped garage and is approximately 776 sq. ft.

Height Limitation: No accessory structure detached from the principal structure shall exceed 20 ft. in height.

- The proposed height of the detached garage is 17 ft.

Location Limitation: Accessory structures, detached from the principal structure shall not be located in any front or side yard, except that a detached garage may be located in a side yard if it meets required setbacks.

- The proposed detached garage will be located in the southwest corner of the property and in the rear yard.

Access: Any accessory structure in excess of 144 sq. ft. that is detached from the principal structure shall provide driveway access to a public street. Any such driveway shall: 1) be no less than 10 ft. wide and made from a bituminous, concrete or other

driveway surface approved by the City; 2) not closer than the required setbacks for such structure to any property line at any given point; and 3) screened or landscaped from neighboring structures as required by the City, in its discretion, if such structure is located in a side yard.

Driveway Requirements:

City Ordinance Section 900.09, Subd. 3.A. states: “No curb cut access shall be located less than 30 feet from the intersection of 2 or more street rights-of-way. The distance shall be measured from the intersection of lot lines. The City may require greater distances if future traffic conditions warrant. Such greater distances shall be required subject to approval by the City Council.”

This section also states: “Curb cut openings shall be a minimum of 5 ft. from the side yard property line in all districts.” City Ordinance Section 900.09, Subd. 3, B. states: “Single-family uses shall be limited to one curb cut access per property.”

- According to the certificate of survey dated 02/25/16, the driveway will be concrete and will be setback 2 ft. from the west side lot line of the property and will NOT comply with the 5 ft. setback requirement from the side lot line as required by City Ordinance (Variance # 1). The proposed driveway will also be 26 ft. wide (the length of the garage), 4 ft. deep and abut the south/rear lot line of the property and alley.

Proposed Design & Architecture:

The City Ordinance does not have architectural design requirements or regulations within the Residential or Shoreland Overlay Districts although the applicants have indicated that the design of the proposed accessory structure (detached garage) will be traditional and consistent with the principal structure (house). The applicants have also indicated that last year they installed new siding on the house (LP Smart Side, dark blue, 7 inch lap) and several new windows and that the garage will be finished to match. The roof will be finished with gray architectural asphalt shingles. The house currently has green shingles but the applicants intend to re-shingle the house in 2017 to match the garage. An architectural/designer garage door will also be installed, and will be cedar tone in color to enhance the visual appeal from the alley (and south side of the garage and south/rear lot line of the property). The detached garage will also have windows on the north, west, and east sides of the structure, and a service door on the east side.

PUBLIC NOTICE/COMMENT:

The notice was published in the WACONIA PATRIOT on February 18, 2016 and posted at Waconia City Hall. Individual notices were mailed to property owners within 350 feet of the subject parcel. The City has received no comments from the public as of 2/26/16.

The City anticipates receiving comments from both the Minnesota Department of Natural Resources and from Carver County Land & Water Management/Soil & Water Divisions regarding the variance request as it specifically relates to water quality and storm water management. Those comments will be provided to the Planning Commission as a verbal update included within staff’s presentation of this item.

RECOMMENDATION:

The Planning Commission should hold the required public hearing, review the variance request submitted by Ben and Lauren McQuillan based on the Variance Criteria stated above and make a recommendation to the City Council. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on March 21, 2016.

At this time, City Code does not allow a credit option for the use of permeable pavers or other alternative stormwater improvements however, recent variance applications have incorporated permeable pavers with projects that have resulted in a 25% to 50% credit when calculating impervious surface areas for sites that have had an adequate outlet for storm water drainage. The proposed plan does not have a suitable outlet and therefore no credit is being recommended. The topography of the area makes an outlet difficult. Reuse or irrigation could be considered which would result in a partial credit.

The proposed 4 ft. setback to the south (towards the alley) is not recommended. Assuming the garage doors face south the turning movement from a 16 ft. wide alley into the garage is problematic. Also, the alley snow removal operations would push snow either into the garage or up against the garage door. The 10 ft. setback width should be maintained or the site should be modified for the garage doors to face to the east.

If the Planning Commission chooses to recommend approval of the garage setback and impervious surface variances submitted by Ben and Lauren McQuillan, staff would recommend the approval upon the following conditions:

- 1) The garage shall be constructed as proposed on the certificate of survey and as conditionally revised by the Planning Commission and City Council.

- 2) All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
- 3) The applicant shall be required to incorporate reuse or irrigation with the design of this project.
- 4) For maintenance purposes the proposed hard surface shall be not consist of gravel or aggregate.
- 5) The certificate of survey shall be required to be updated to include the front porch patio or deck and a note should also be made to indicate the impervious/hardcover calculations of said improvements if applicable.
- 6) The windows and service door on the detached garage shall be required to match or be consistent with the principal structure (house).
- 7) The garage structure shall be setback a minimum of 10 ft. from the rear lot line/alley per the recommendation of the City Engineer.

ATTACHMENTS:

- 1) Public Hearing Notice & Location Site Map (2 pages)
- 2) Variance Application (4 pages)
- 3) Certificate of Survey dated 02/02/16, prepared by Premier Land Surveying, LLC (1 page)
- 4) Applicant Letter dated 02/01/16 (1 page)
- 5) Project Overview (4 pages)
- 6) Property Photos (16 pages)
- 7) Site Plan (2 pages)
- 8) Color Renderings of Proposed Garage (5 pages)
- 9) City Staff Review Comments dated 02/16/16 (1page)
- 10) Revised Certificate of Survey dated 02/25/16, prepared by Premier Land Surveying, LLC (1 page)

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Waconia, MN, will hold a public hearing on Thursday, March 3rd, 2016 at 6:30 p.m., at the Waconia City Hall, 201 South Vine Street, Waconia, MN, to consider a Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage on the property located at 425 Lake Street West.

The applicants are requesting approval of a variance to exceed the 25 percent maximum impervious surface allowed in the Shoreland Overlay District and to allow construction of an accessory structure at a side yard setback of 2 ft. and a rear yard setback of 1 ft. versus the required 10 ft. setback for both the side yard and the rear yard in the R-4, Mixed Residential District.

Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, March 3rd, 2016. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387

Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION

ATTEST: Lane L. Braaten, Community Development Director

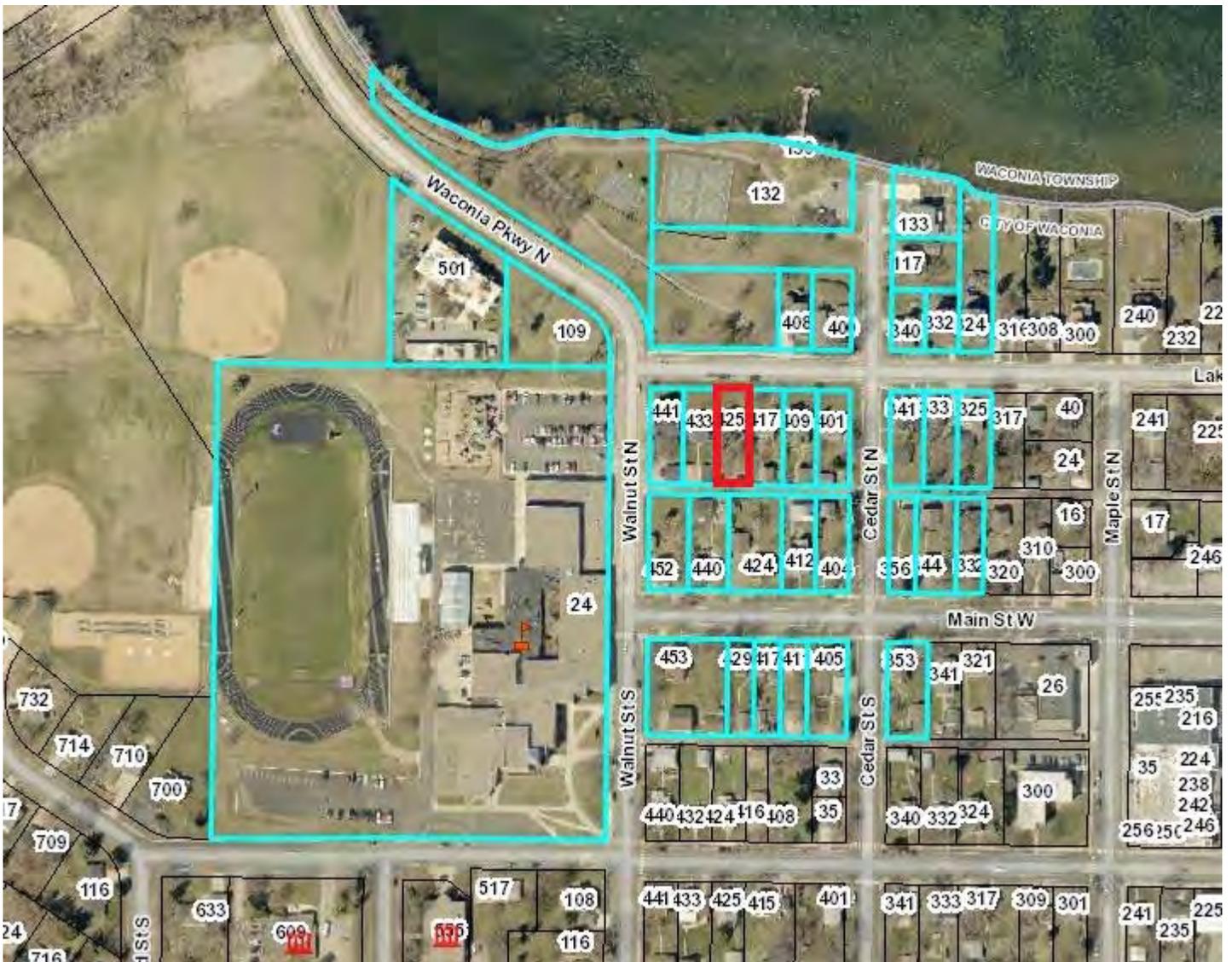
(Published in the February 18th, 2016 Waconia Patriot newspaper)



Public Hearing Notice Map

Subject Property: 425 Lake Street West

This notification is being mailed to all properties within 350 ft. of the subject property pursuant to City Code Section 900.12, Subd. 4, B. The location of the subject property is outlined in red on the aerial image below and the properties being notified are outlined in blue.





CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135
www.waconia.org

VARIANCE

APPLICANT INFORMATION

1. Owner's Name: BEN AND LAUREN McQUILLAN
2. Address of Property: 425 W LAKE ST
3. Legal Description: PID# 750503320 - Lot 18, Block 34 - City lots of Waconia
4. Applicant's Name: BEN AND LAUREN McQUILLAN
5. Mailing Address: 425 W LAKE ST
6. Daytime Phone(s): (612) 719-2407
7. Email Address: BENMCQ@MSN.COM

The City will distribute copies & appropriate information to applicant via email

OFFICE USE ONLY

Date Received: 2-2-16

Fee: \$ 125.00
Receipt #: 0238093

15 day review date 2-17-16

60 day review date 4-2-16

* 120 day review date 6-1-16

PC nubs March 3rd

CC nubs March 21

- PC packet prep date ~ Feb 26



CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135

VARIANCE APPLICATION

1. Present Zoning: _____
2. Existing use of Property: _____
3. Has request for a variance on this property been sought previously? If so, when? _____

IMPORTANT

Subd. 4. Variances

- A. No variance shall be granted to allow a use not permitted under the terms of this Ordinance in the district involved. In granting a variance the Board may prescribe appropriate conditions in conformity with this Ordinance. When such conditions are made part of the terms under which the variance is granted, violation of the conditions is a violation of this Ordinance. A variance shall not be granted by the Board unless it conforms to the following standards:
1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and do not result from the actions of the petitioner.
 2. Literal interpretation of the provisions of this Ordinance would deprive the petitioner of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.
 3. Granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same district.
 4. The proposed variance will not impair an adequate supply of light and air to adjacent property, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the residents of the City.
 5. FINANCIAL SAVINGS WILL NOT CONSTITUTE A HARDSHIP.

THE FOLLOWING INFORMATION MUST BE FURNISHED IN ORDER TO PROCESS THE APPLICATION

1. A letter from the applicant(s) which should address the following:
 - Explain (in detail) the variance you are requesting (giving distances where appropriate).
 - Conditions or peculiar difficulties to the structure or land, which makes a variance necessary.
 - Why do you feel a variance should be granted in this instance?
2. Payment of application fee (**\$125 residential; \$275 non-residential**)
3. **Non-residential variance requests are required to submit an escrow payment in the amount of \$1,000.00.**

****Additional information may be requested by staff, based on the proposal. Additional consulting review fees may apply, such as civil engineering and legal counsel.**

4. Scaled site plan with north arrow indicating existing structures and proposed additions or modification to structures.
5. Show all distances of buildings and structures from property lines.
6. Show any unique features to property associated with variance request (i.e. trees, ravines, steep slopes, etc.).

The Planning Commission may or may not hold a public hearing on the request (based on the amount of the variance requested). The Planning Commission should make a recommendation to the City Council within sixty (60) days. If they do not, the City Council may proceed without the Planning Commission's recommendation.

The City Council may approve, approve with conditions, or deny the variance. If a variance is denied the applicant cannot resubmit a variance request for that same property until six (6) months has lapsed. If a variance is approved, it should be made use of within one (1) year or it will become void.

A violation of any condition set forth in the granting of the variance shall be a violation of the zoning ordinance and automatically terminate the variance.

Applicant's Signature: 
Printed Name: BEN McQUILLAN

Date: FEB. 1, 2016

SUPPLEMENTAL INFORMATION FOR VARIANCE APPLICATIONS

Variance Review Criteria: The Minnesota State Statute, the Waconia City Code and the Waconia Comprehensive Plan are taken into consideration when reviewing variance requests.

Minnesota State Statute Section 462.357, Subd. 6 provides:

- a. Variances shall only be permitted (a) when they are in harmony with the general purposes and intent of the ordinance and (b) when the variances are consistent with the comprehensive plan; and
- b. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. "Practical difficulties," as used in connection with the granting of a variance, means that (a) the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; (b) the plight of the landowner is due to circumstances unique to the property not created by the landowner; and (c) the variance, if granted, will not alter the essential character of the locality; and

Waconia City Code Section 900.12, Subd. 4 permits variances provided certain standards are met; and therefore the following five findings of fact will be reviewed in considering variance requests.

The applicant shall be required to provide a narrative response to each of the following statements listed below, that shall be attached and/or included with the application upon submittal for review and consideration.

- 1) Is the variance in harmony with the purposes and intent of the ordinance?
- 2) Is the variance consistent with the comprehensive plan?
- 3) Does the proposal put property to use in a reasonable manner?
- 4) Are there unique circumstances to the property not created by the landowner?
- 5) Will the variance, if granted, alter the essential character of the locality?

Certificate of Survey

~ for ~ Ben & Lauren McQuillan
425 W. Lake St
Waconia, MN 55387

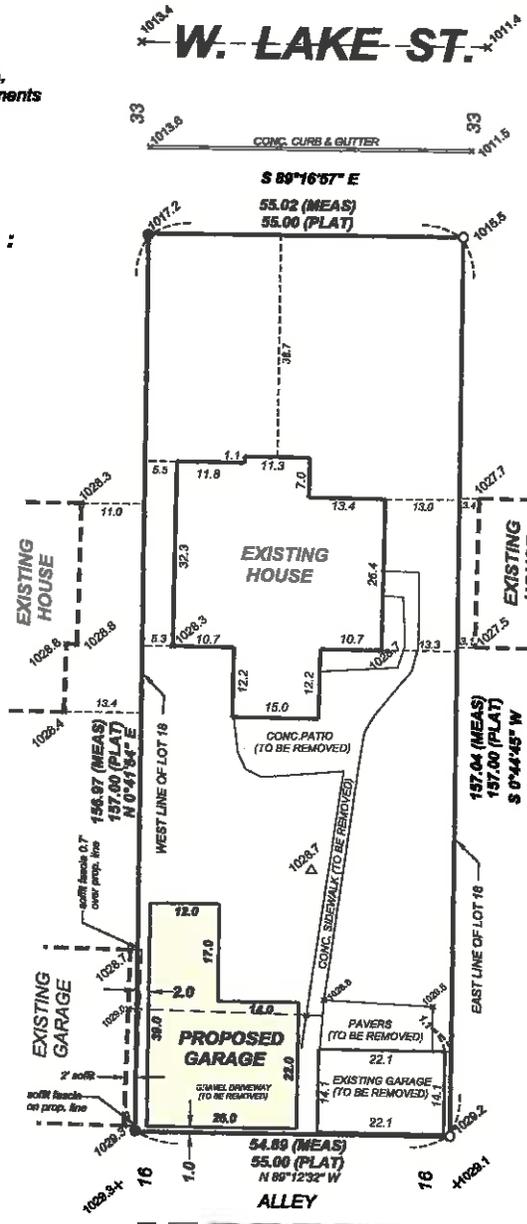


DESCRIPTION OF PROPERTY:

Lot 18, Block 34, CITY LOTS OF WACONIA,
Carver County, Minnesota. Subject to easements
of record.

IMPERVIOUS SURFACE CALCS. :

Lot Area: 8628 s.f.
Existing House: 1294 s.f.
Existing Garage: NA
Existing Concrete: NA
Existing Pavers: NA
Existing Gravel: NA
Proposed Garage: 776 s.f.
Prop. Driveway: 26 s.f.
Total Impervious: 2096 s.f.
Impervious % : 24.29%



LEGEND	
X	Spot Elevation
●	Found Iron Monument
○	Set 1/2" X 14" Iron Pipe
△	Survey Control Point

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Minnesota.

Steven V. Ische 22703 02/02/18
Steven V. Ische License No. Date

PROJ. NO.: 1372-00
BOOK 8, PAGE 10

PREMIER
LAND SURVEYING, LLC

952-443-3010

Ben & Lauren McQuillan
425 W Lake St
Waconia, MN 55387
(612)719-2407
benmcq@msn.com

February 1, 2016

Dear City of Waconia Planning Commission and Department Staff:

Thank you for reviewing our request for variances on a proposed garage replacement. This is a project we are very excited about and, with a growing family, hope to be able to move forward with this summer. We purchased this home in 2011 and have since been continuously making much-needed improvements inside and out. We're now at the point where our small garage no longer meets our vehicle and other outdoor storage needs and have been trying to find a replacement solution in harmony with our goals, our neighbors' input, and the city's needs and we feel the proposed work to our lot and new garage reflect a strong commitment to this approach.

The improvements we're planning seek to improve all aspects of our property; environmental and watershed concerns, property value, neighborhood appeal, usability, and safety. As residents of downtown and frequent users of the lake, we're committed to making these improvements with the city's main recreation attraction close in mind. We also have, and wish to continue to have great relationships with all of our neighbors. As long-term future residents, we are happy to address all concerns expressed by any affected neighbors and will work together with them and the Commission to modify our plans if necessary. Thank you very much for your time and consideration.

Sincerely,

Ben and Lauren McQuillan

Handwritten signatures of Ben and Lauren McQuillan in black ink. The signature for Ben is on top and the signature for Lauren is below it.

Project Overview

- Excavation
 - Remove slab from existing single-car garage
 - Re-grade alley side of yard to improve drainage near foundation
 - Prep and install new garage footings and slab, including 1' apron from garage door to alley
- Electrical
 - Current service is overhead from the alley to the house, will be changed
 - Bring main service down from pole in alley into garage panel & install meter
 - Trench service from garage to house panel underground
 - Include in trench a 2" pipe for future wire fishing
- Framing
 - Walls will be 2x6 and 9' high
 - New garage roof will be 17' height at the peak
- Roofing
 - 12" overhangs on all roof edges
 - Plan to use gray architectural asphalt shingles
- Siding
 - LP SmartSide to match the house
 - Nightview blue siding with White trim
- Garage Door
 - Will have (1) 18' x 8' door
- Pending Variance Requests from City
 - Square foot proportion limitation
 - Lot setbacks

Brief scope of the project

- 1) Remove existing detached single-car garage. Currently located with non-conforming zero setback from the alley and non-conforming zero setback from the neighboring lot line.
- 2) Remove all concrete sidewalks and patio on property.
- 3) Build new, detached 3-car garage.
- 4) Install new permeable landscape materials where needed. Reduce current impervious proportion from 34% to 26%.
- 5) Upgrade associated systems and materials to modern standards.

Variances Requested for new garage construction

- 1) 10' setback from neighboring lot to the west.
 - a. Requesting 2' setback from west lot line.
- 2) 10' setback from gravel alley to the south.
 - a. Requesting 1' setback from alley lot line.
- 3) 25% impermeable lot proportion.
 - a. Requesting 1% overage to be mitigated with permeable landscape materials and improved roof-surface water collection.

Application Supplemental Information Questions

- 1) Is the variance in harmony with the purposes and intent of the ordinance?
 - a. Yes, a garage is an allowed use of a residential city lot.
- 2) Is the variance consistent with the comprehensive plan?
 - a. Yes, there are no changes proposed for the use of the lot.
- 3) Does the proposal put property to use in a reasonable manner?
 - a. Yes, the use and need for the size and location of this garage is reasonable. It will be similar in size to many others in the area.
- 4) Are there unique circumstances to the property not created by the landowner?
 - a. Yes, we purchased this home as-is with a non-conforming impervious lot proportion and non-conforming setbacks on existing garage location. The layout of the lot is also restrictive, half of it being too steep to build on.
- 5) Will the variance, if granted, alter the essential character of the locality?
 - a. No, this garage will fit in well with our home, lot, and neighborhood. Removing our existing garage and replacing with a new garage will only improve the local character.

Supporting Information

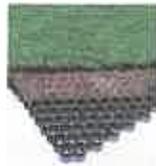
25% impermeable lot overage

We understand and appreciate the concern for water quality in and around Lake Waconia. With this construction, we plan to keep our combined home and garage footprint within the 25% limitation. We will, however, exceed this limitation when considering a sidewalk at the rear of the house and the garage door apron.

To mitigate this concern, we plan to install a sidewalk made of permeable stone pavers (from Azek building products), which will total approximately 150 sqft. The garage door apron will be concrete, 26 sqft and sloped into the gravel alley. The combined surface area of the sidewalk (permeable) and garage apron will total just 2%. Guest parking for 3 additional vehicles will be provided along the entire span of the gravel alley on the south end of our lot next to the garage.



Azek Permeable Paver



NDS Tufftrack

This area will consist of a crushed rock base, NDS Tufftrack grass pavers with sod installed on top to allow for absorption and drainage while maximizing the open, green feel and usability of the grass yard. These underlayment style pavers are rated to support heavy-duty trucks.

While this request will push the 25% limit, it will actually allow for a substantial reduction in impermeable surface on our property. Because our current garage, patio and driveway are non-conforming, and sidewalks are standard concrete and gravel, our current impermeable surface lot proportion totals 34%. By cleaning up the design of and using environmentally friendly landscaping materials, we'll bring this effective proportion back down within the acceptable 25% range between the house and garage plus the additional 2% for permeable paver sidewalks.

We understand that maintenance and upkeep of permeable pavers is a concern. We will follow the manufacturer's recommendations for preventive maintenance and repair of these sections. Because these paver sidewalks account for very small areas on our lot and we do not currently use any chemicals, fertilizers, or salt, this should not be an issue.

In addition to the landscaping materials we will be installing gutters along the garage roof and new gutters on our house roof. Rainwater will be collected in rain barrels to further reduce concerns about soil erosion and chemical run-off. Initially, all drainage from our garage and the east-side eave of our adjoining neighbor's garage will be collected in rain barrels. When we resurface the roof on our house next year, we will install new gutters and rain barrels to collect that drainage as well.



Algreen Rain Barrel

Placement on/near lot lines

Our existing garage is located on the east lot line and the edge of the lot adjoining the alley. I understand the need for setbacks for primary access roads, but in some cases this forces a new building to substantially limit the usability of an already small back yard. We would like to build this new garage on the opposite (west) lot line and come in 1' from the alley to alleviate some maneuvering space concerns and be on the same line as the adjoining neighbor's garage (1' setback from alley/lot line). Because half of our lot is a steep hill, we are limited to just the other half when planning for this garage or any additional storage options. This corner location will help us maximize both our garage space and our lot.

Our neighbors to the west currently have a garage located both on our shared lot line and on the edge of their lot adjoining the alley. Their garage roof overhang unfortunately extends as much as 8" into our property. We would like to build next to their garage in order to leave the southeast corner of our lot open and useable. The new garage foundation would be set back 2' from the lot line allowing for its overhangs as well as those of the neighbor's garage. We would also like to keep the new garage as close to the alley as possible. Many garages and other structures in the downtown area are situated along the

lot line at the alley. Moving ours back (north) ' would allow for adequate vehicle access, maneuverability, and snow removal.

This corner location and L-shaped design is entirely intended to allow for ample storage room while preserving what precious open yard space we can on our small city lot.

Area between proposed garage and west neighbor's garage

The area between our proposed garage and that of our neighbor to the west will be approximately 3'. We plan to install a gutter on the east eave of their garage and have it drain into a rain barrel (they have a small garden on the north wall of their garage) at our expense to all but eliminate water saturation in that soil. There are also a few bushes along that lot line that we will remove at our expense prior to construction. Finally, we will provide continuing maintenance by mowing grass and shoveling snow as needed.

Safety

With a new garage we will also be able to affordably incorporate several safety improvements. The most significant is transition from overhead electrical service to underground. If placed in the southwest corner of our lot, a new garage will be located immediately next to the main power pole, which will provide service directly into the garage and then trenched into our house. Just this past summer, that pole snapped in a storm and fell onto our neighbors' garage roof while the live cables lay across our yard. Fortunately, the fire department and Xcel Energy were able to secure the hazard before any kids got too close.

Design and materials

The design of the garage will be traditional and consistent with that the house. Last year we installed new siding on the house (LP SmartSide, dark blue, 7" lap) and several new windows. The garage will be finished to match. The roof will be finished with gray architectural asphalt shingles. Our house currently has green shingles but in 2017 will be re-shingled to match the garage. We will install an architectural/designer garage door, cedar-tone in color to enhance the visual appeal from the alley.

Character and property value

We're excited to be planning this significant improvement and investment in our property and hope to gain approval for these variances. Our existing garage is an eyesore and does not fit the current or future needs of a family. The character and charm of Waconia, particularly downtown, is what drew our family to live here. As a downtown commercial property owner I truly appreciate the City's efforts to preserve that character and hope to contribute with this investment.

We feel that this will undoubtedly increase the appeal and value of our property as well as the others on our block. A bigger garage would allow us to finally park our vehicles inside as well as other recreational vehicles, kids' toys, outdoor furniture and grill, etc. to improve the appearance of the neighborhood. Security is another concern, as we know there are occasional vehicle break-ins around town during the summer months. We also don't want to consider additional storage by adding a shed or uncovered space next to our garage for aesthetic reasons.

Supporting Photos



Existing garage to be removed, looking southeast. Area under existing garage and impervious patio to be replaced with NDS Tufftrack grass pavers.



Existing garage to be removed, looking northeast



Existing garage to be removed, looking northwest



View of lot from house, looking south



View of west lot line, looking southwest



View of east lot line, looking southeast



Current impervious patio and sidewalk to be removed



Current concrete work in disrepair, to be downsized and replaced with Azek permeable pavers



View along alley lot line, looking west



View along alley lot line, looking east



Proposed new garage outline, looking northeast



Proposed new garage outline, looking north



Proposed new garage outline, looking northwest



Proposed new garage outline, looking southwest



Proposed new garage outline, looking west



Proposed new garage outline, looking southwest



Proposed new garage outline, looking south



Proposed new garage outline, looking southeast



View of house showing style, siding and trim to match proposed garage

Lake St

55'



150'

Steep grade
to Lake St

House

Existing
concrete
sidewalks and
patio to be
removed

Neighbor
Garage

Existing gravel
driveway to be
removed

Existing garage
and patio to
be removed

Alley

Lake St



55'

150'

Steepest grade
to Lake St.

House

Smaller entry patio
and sidewalks of
permeable pavers

Neighbor
Garage

Proposed
New Garage

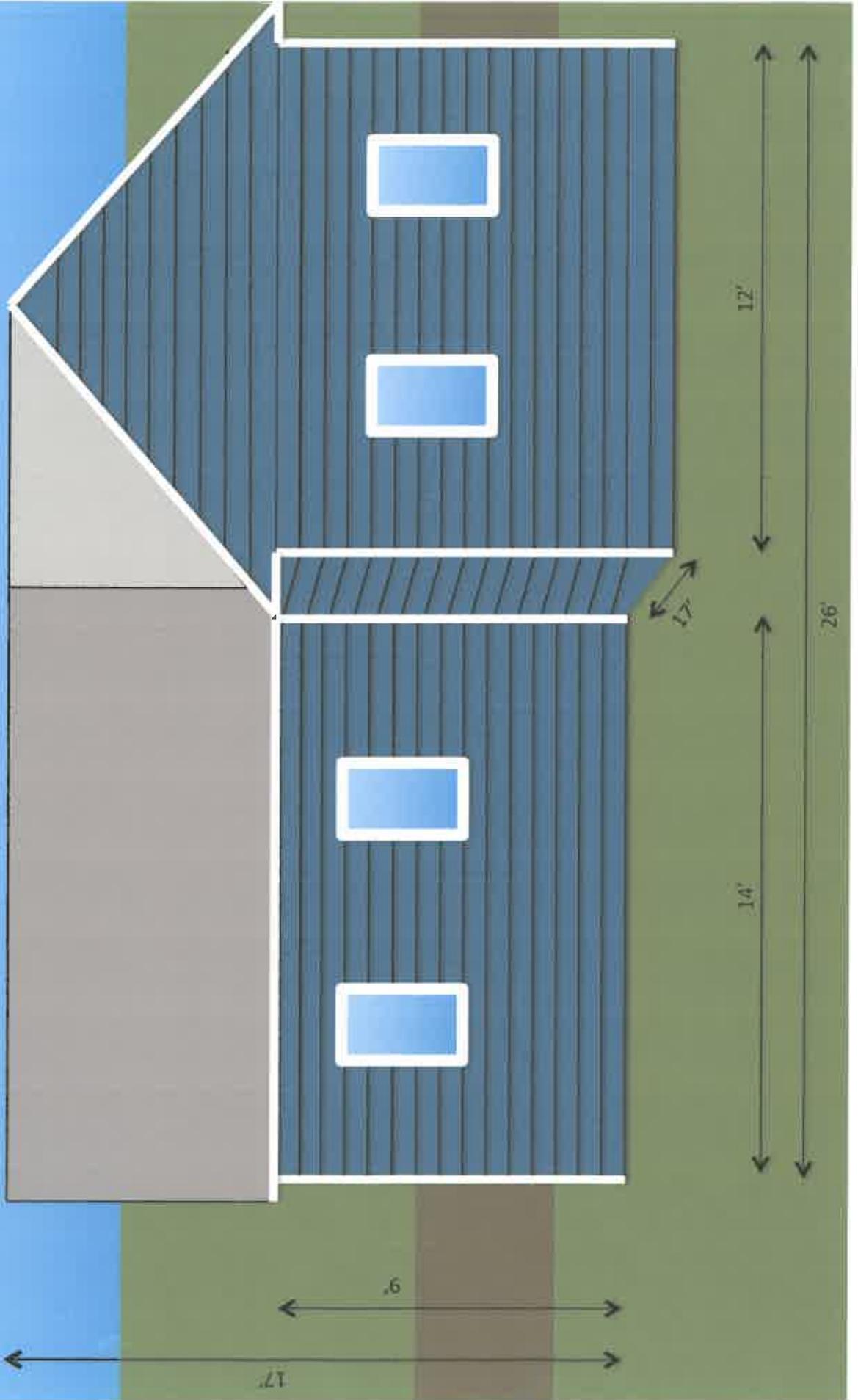
Guest parking
on grass pavers

Concrete apron (1' setback requested)

Alley

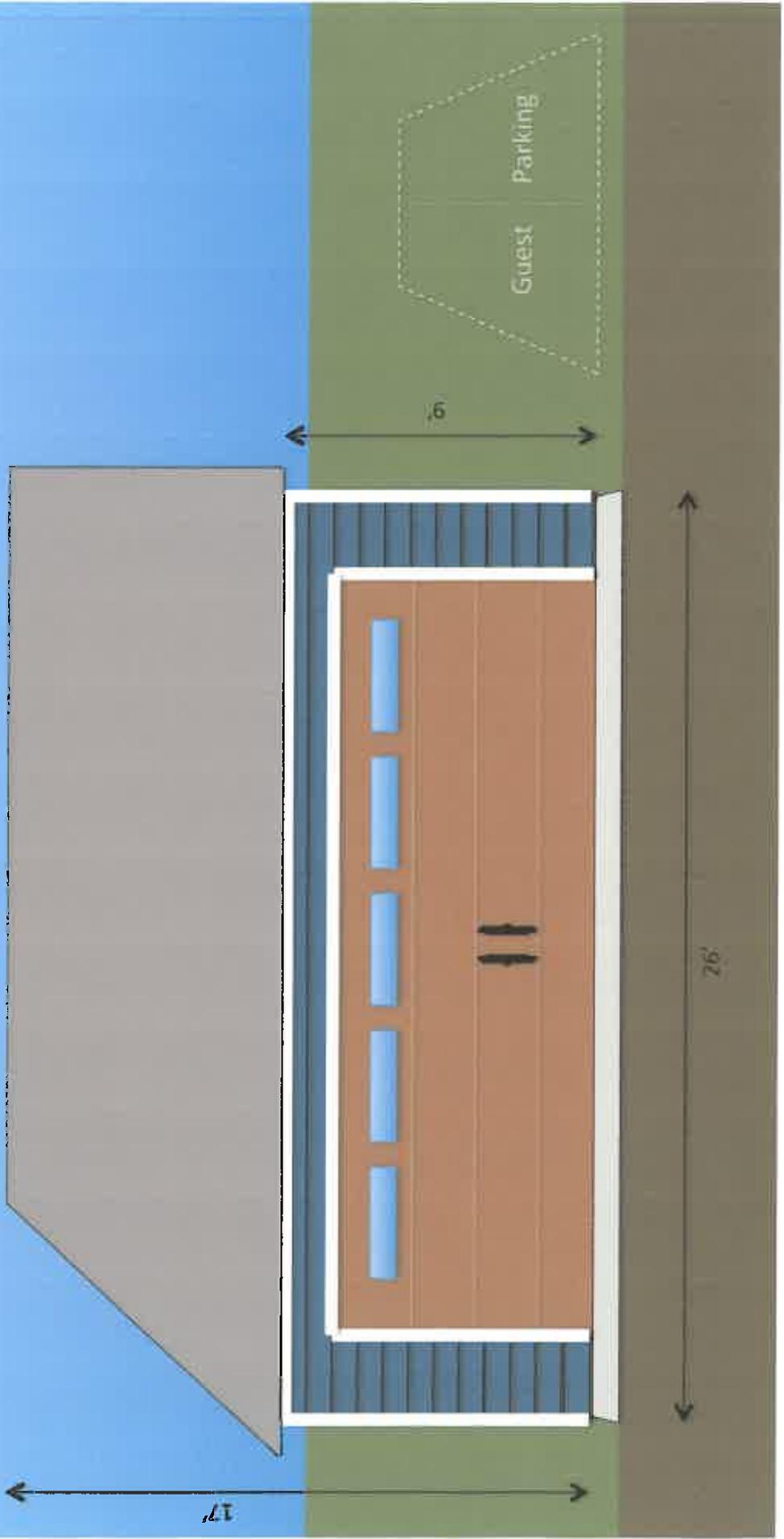
**NORTH
ELEVATION**

View from house, looking south



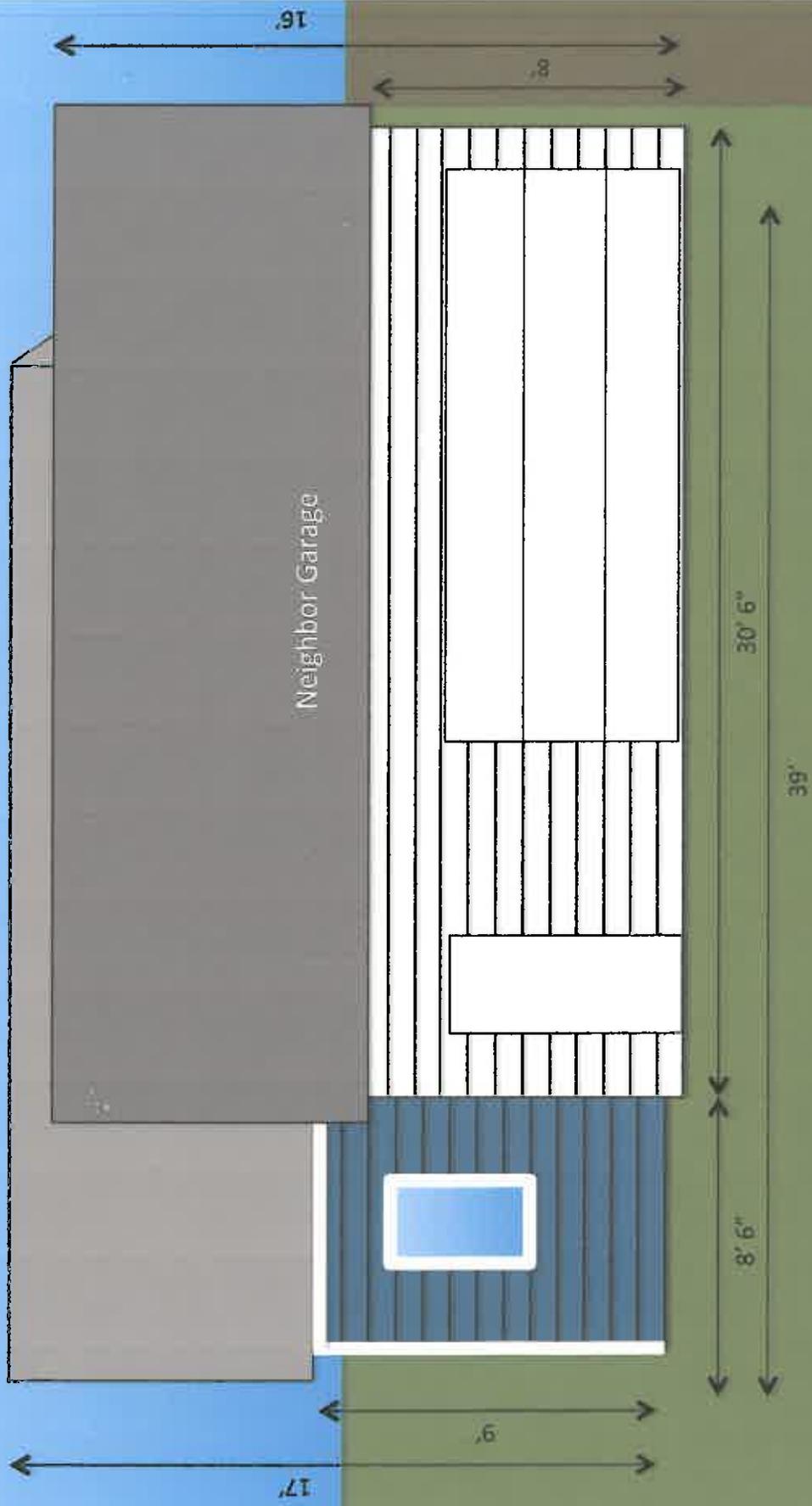
**SOUTH
ELEVATION**

View from alley, looking north



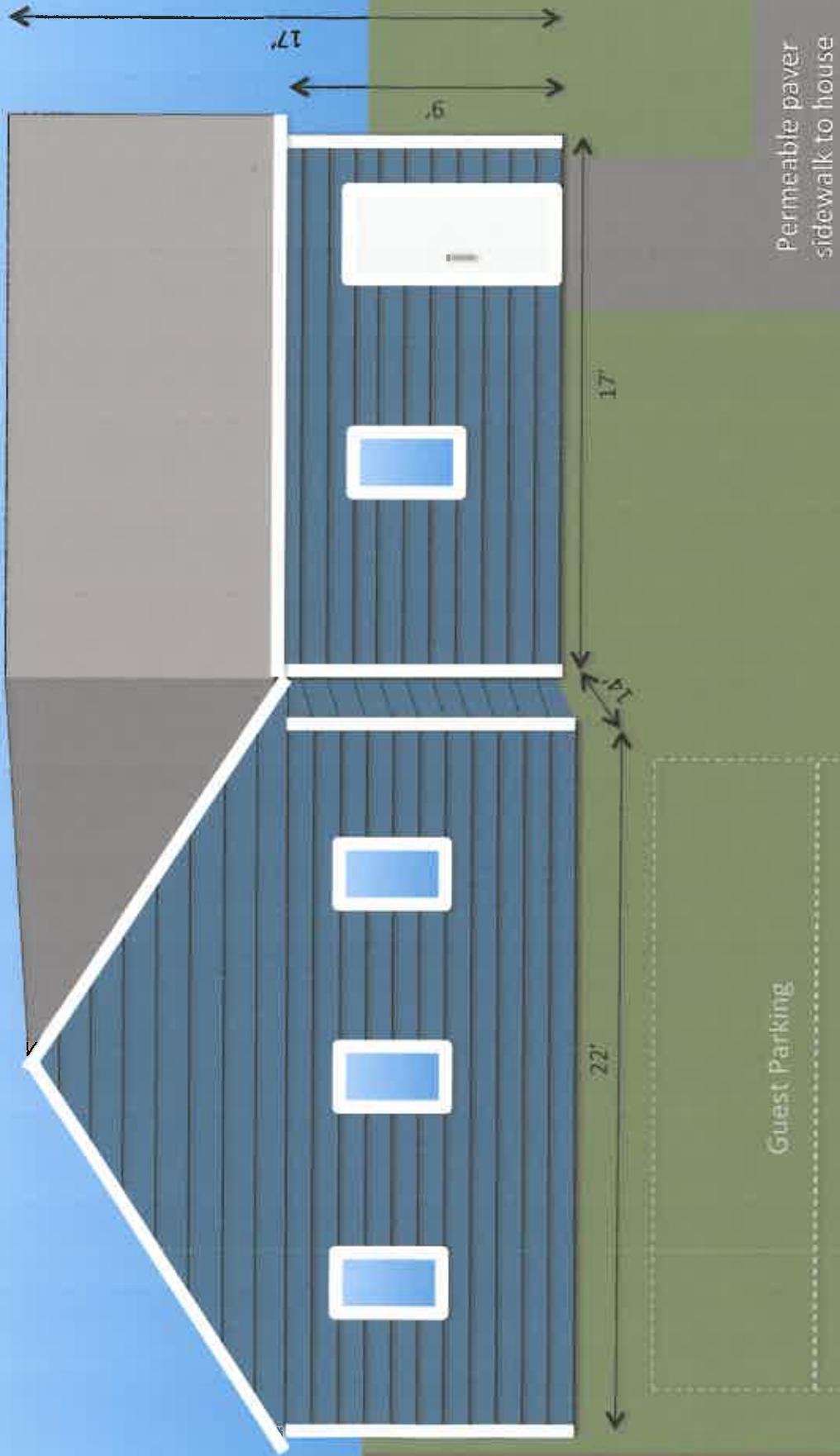
WEST ELEVATION

View from west neighbor, looking east

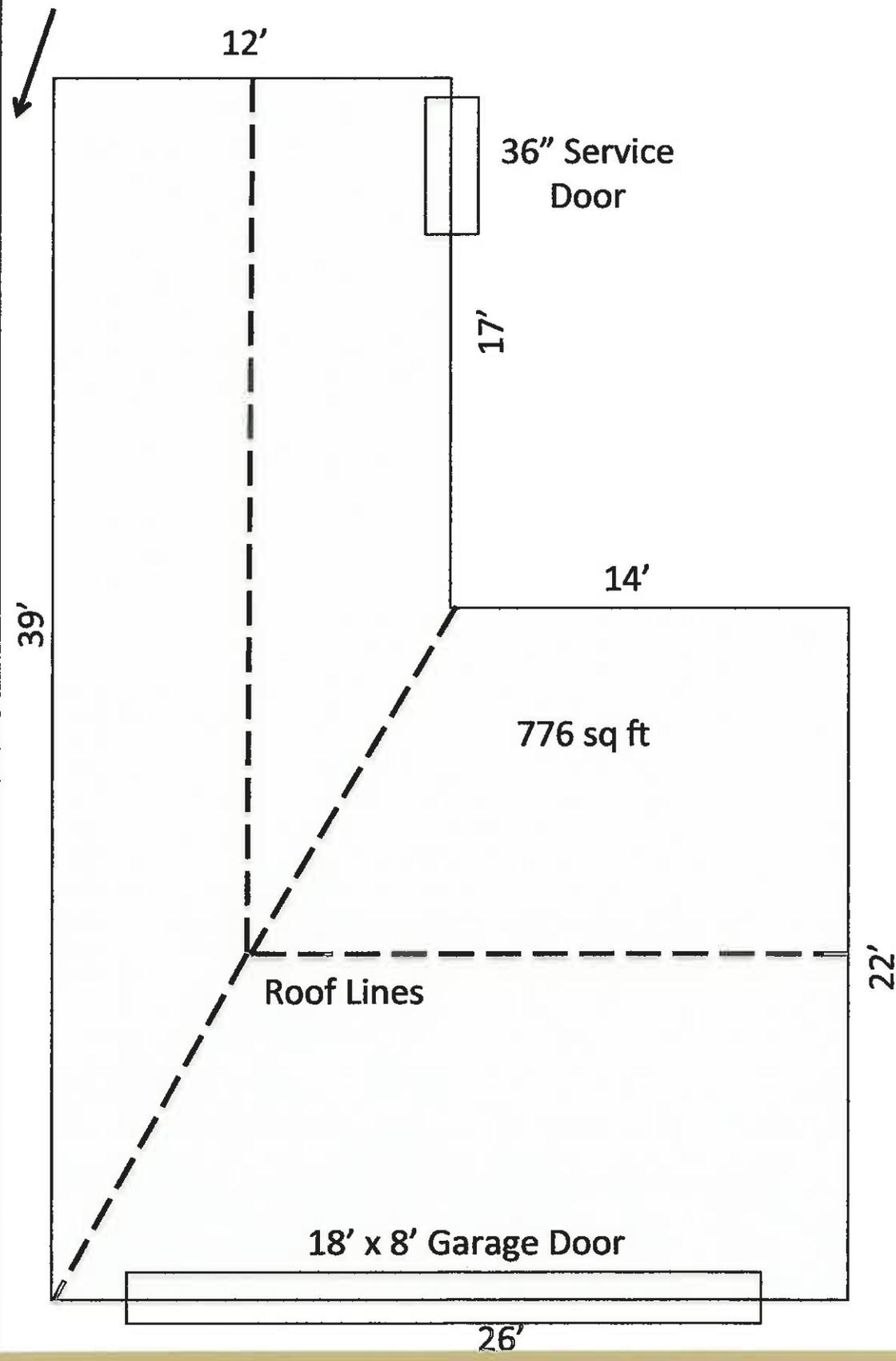


EAST ELEVATION

View from east neighbor, looking west



Foundation set back 2' to allow for 12" roof overhang



**City of Waconia Review #1
February 16th, 2016
425 Lake Street West - Variance
Ben & Lauren McQuillan**

This review is based on City staff's initial review of the Variance information submitted on 02/02/16 and the Certificate of Survey dated 02/02/16.

General Comments

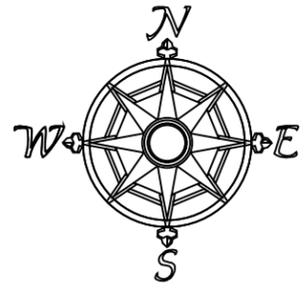
1. Permeable pavers typically result in a 25% to 50% credit when calculating impervious surface areas when they have an adequate outlet. The proposed plan does not have a suitable outlet and therefore no credit is recommended. The topography of the area makes an outlet difficult. Reuse or irrigation could be considered which would result in a partial credit.
2. For maintenance purposes the proposed hard surface is recommended to not consist of gravel or aggregate material.
3. The proposed 1' setback to the south (towards the alley) is not recommended. Assuming the garage doors face south the turning movement from a 16-foot wide alley into the garage is problematic. Also, the alley snow removal operations would push snow either into the garage or up against the garage door. The 10-foot setback width should be maintained or the site should be modified for the garage doors to face to the east.

Certificate of Survey

4. The survey should include a revised table indicating the existing hardcover/impervious surface on the subject parcel.
5. The survey should also include a second table showing the proposed hardcover/impervious surface on the subject property. This calculation, in addition to the current improvements shown, should indicate the proposed entry patio, sidewalks and guest parking area as the City Engineer has indicated that the plan does not have a suitable outlet and therefore no credit is recommended.
6. The proposed parking area shall be setback a minimum of 5 ft. from the side lot line. This should be reflected on the Certificate of Survey.
7. The proposed driveway should be indicated on the survey.
8. Based on a review of the aerial imagery for the parcel there appears to be either a front patio or deck that is not shown on the survey. Please update the survey to indicate said improvement and include in impervious/hardcover calculations if applicable.

Certificate of Survey

~ for ~ **Ben & Lauren McQuillan**
425 W. Lake St
Waconia, MN 55387



DESCRIPTION OF PROPERTY:

Lot 18, Block 34, CITY LOTS OF WACONIA,
 Carver County, Minnesota. Subject to easements
 of record.

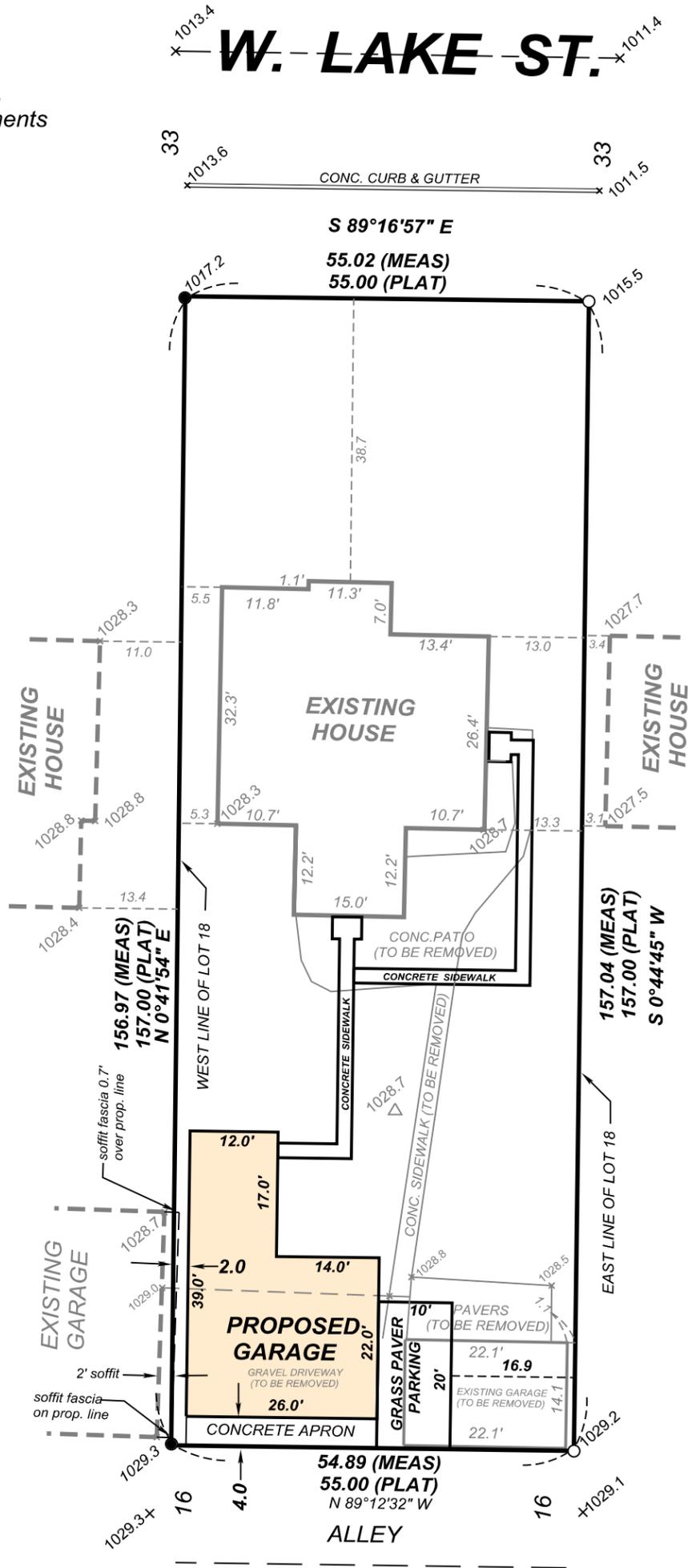
EXISTING IMPERVIOUS SURFACE CALCS. :

Lot Area: 8628 s.f.
 Existing House: 1294 s.f.
 Existing Garage: 312 s.f.
 Existing Concrete: 506 s.f.
 Existing Pavers: 153 s.f.
 Existing Gravel: 661 s.f.
 Total Impervious: 2926 s.f.
 Impervious % : 33.91%

PROPOSED IMPERVIOUS SURFACE CALCS. :

Lot Area: 8628 s.f.
 Existing House: 1294 s.f.
 Proposed Garage: 776 s.f.
 Prop. Conc. Apron: 104 s.f.
 Prop. Conc. Sidewalk: 213 s.f.
 Grass Paver Parking: 200 s.f.
 Total Impervious: 2587 s.f.
 Impervious % : 29.98%

W. LAKE ST.



LEGEND	
×	Spot Elevation
●	Found Iron Monument
○	Set 1/2" X 14" Iron Pipe
△	Survey Control Point

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Minnesota.

REVISED: 02/25/16 - GARAGE, SIDEWALK APRON, GRASS PAVERS, IMPERVIOUS SURFACE CALCS.



Steven V. Ische License No. 22703 Date 02/02/16

PROJ. NO.: 1372-00
 BOOK 8, PAGE 10

952-443-3010