



CITY OF WACONIA PLANNING COMMISSION AGENDA

Regular Meeting of
Planning Commission
Waconia, Minnesota

Thursday, May 5th, 2016
City Hall – 6:30 PM

MEMBERS: Mike Blanchfield, Steve Hebeisen, Don Osmundson, John Meisch, Nathan Vilmain
ALTERNATE MEMBER: Robert Grohmann
CITY COUNCIL MEMBER LIAISON: Jim Sanborn

STAFF: Lane Braaten, Community Development Director
Brenda Wurst, Recording Secretary

1. Call meeting to order and roll call
2. Adopt Agenda
3. Minutes Approval from: April 7th, 2016 Regular Planning Commission Meeting. Pages 1-5.
4. New Business
 - A. PUBLIC HEARING: VARIANCE - Request by Mike & Cindy Blanchfield to allow for reduced rear yard setback for placement of a detached accessory structure for the property located at 40 Pine Street North. Pages 6-33.
 - B. SITE PLAN and DESIGN REVIEW – Request submitted by The Avalon Real Estate Group, LLC for a proposed multi-tenant building for the property located at 836 Main Street East. Pages 34-54.
5. Other
 - A. None.

Adjourn

WACONIA PLANNING COMMISSION
THURSDAY, April 7, 2016

Pursuant to due call and notice thereof, a regular meeting of the Waconia Planning Commission was called to order by Chairperson Blanchfield at 6:30pm.

1. CALL MEETING TO ORDER.

MEMBERS PRESENT:	Hebeisen, Blanchfield, Meisch
MEMBERS ABSENT:	Vilmann, Grohmann, Osmundson
STAFF PRESENT:	Braaten, Perera, Wurst
VISITORS:	See attachment.
Council Liaison	Jim Sanborn

Braaten noted that there was an additional hand out placed by each Planning Commission members that he would explain after the meeting.

2. ADOPT AGENDA: Motion by Meisch, seconded by Hebeisen to adopt the Agenda as presented. All present voted aye. MOTION CARRIED.

3. APPROVE MINUTES: Motion by Meisch, seconded by Hebeisen to adopt the Minutes as presented. All present voted aye. MOTION CARRIED.

4. NEW BUSINESS:

A. PUBLIC HEARING - SITE PLAN AND DESIGN-REQUEST BY JACK FIEDLER AND LAURA MENSER FOR A PROPOSED DENTAL OFFICE FOR THE PROPERTY LOCATED AT 732 VISTA BLVD.

Perera presented the Site Plan and Design review for property address 732 Vista Blvd for a dental office by Jack Fiedler and Laura Menser. Displaying a map of the City, Perera pointed out the location of the property, which is located in the B-1 Highway Business District. Kwik Trip is directly across County Road 59 east of the property and right next to the Legacy Shops.

This new structure meets the structure setbacks, building height, and hardcover surface requirements. The applicant has indicated that rooftop units will be proposed and the exact locations will be determined with the construction documents. The landscaping is also in compliance with the City Code. Perera went through the location and type of trees being proposed.

The access to the property will be off of Vista Blvd. City Ordinance requires 32 parking spaces and the owners are proposing 34. There will be a 6' wide sidewalk on the west and north sides of the building. The sidewalk to the north of the building will continue to the west side of the lot and include a pedestrian crosswalk segment across the west parking lot. Then the concrete sidewalk segment in the northwest portion of the lot that will allow for future pedestrian connectivity as the parcels to the north and west develop in the future. Perera pointed out the existing chain link fence to the south and east side of the property.

The applicant is not proposing a loading/delivery dock as part of this application. City staff also does not deem a loading dock as being appropriate for the proposed use of this building. The applicant has indicated that expected deliveries to the dental office will be hand carried to the front door by the UPS, FedEx or other delivery persons.

A trash enclosure is being proposed near the west parking lot and southwest of the building. The exterior building materials will match the EIFS material and colors of the proposed dental office building. The trash enclosure will be screened with shrubs and plantings.

Perera talked about the elevations and materials of the building.

Staff included 18 conditions of approval in the report although Perera stated that several of these conditions have already been resolved. Perera stated that the 19th condition would be that a gate valve must be added to water service lines and updated on plans. The 20th condition would be the building colors and materials to City staff for review and approval.

Blanchfield asked the Architect, James Strapko, for additional information or comments. He passed around the building materials describing colors and placement of the materials. Strapko then explained the percentages of glass on the primary façade. They are exceeding the amount of glass required by City Ordinance. Strapko pointed out that there will be a single post bike rack installed for the locking of two bicycles.

Meisch asked if there is an agreement and understanding of all outstanding points and conditions. Strapko stated that it is the coordination of the scheduling and not a point of contention.

Braaten asked about timing of the project. Fiedler stated that the project would take from 6-8 months and hopefully start this summer.

Motion by Hebeisen, second by Meisch to approve the SITE PLAN AND DESIGN – REQUEST BY JACK AND LAURA MENSER FOR A DENTAL OFFICE FOR THE EPROPERTY LOCATED AT 732 VISTA BLVD with the conditions mentioned below adding the 19 and 20th conditions. All present voted Aye. MOTION CARRIED.

CONDITIONS OF APPROVAL.

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The conditions listed shall be resolved to the satisfaction of the City Engineer, the Public Services Director and the Community Development Director prior to the issuance of the building permit for the dental office.
4. The applicant shall provide the City with a letter of credit to guarantee the proper installation and growth of the approved landscape plan. The letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. The applicant shall be required to submit documentation to City staff for review and approval, complying with the Ground Floor Window requirements of the Architectural Design Standards included in City Code Section 900.06, Sub. 9, E, subpart 7.
6. The legend on the aforementioned landscape plans (sheet L1) is not consistent with the label noted for the one, 3” Swamp White Oak tree that is proposed in the southwest corner of the property and therefore at least one of the proposed trees will meet the 3” caliper inch requirement (for one of the deciduous trees) or else one of the proposed trees will meet the 8’ height requirement (for one coniferous tree).
7. The fire hydrant and valve located in the northeast corner of the site shall be capped at a Tee with a plug at the water main (if relocated as shown). An alternate to this would be to cut back the hydrant line to allow a 90 degree bend and relocate at the east end within the proposed utility easement.
8. All ductile iron pipe, hydrant leads, and fittings shall be required to be wrapped in polyethylene encasement.
9. Sanitary sewer service material shall be SDR 26.
10. A minimum section consisting of 4” of bituminous and 8” of aggregate shall be required for the parking areas due to the heavy clay soils in the area.
11. The applicant shall be required to obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management (or confirmation that none is needed). A copy of any approvals or permits required shall be submitted conditional to Final Site Plan approval.
12. Drainage and Utility easements shall be provided to cover all sewer mains, watermains, and hydrants. Service lines to the building do not require an easement.
13. Record drawings shall be submitted upon completion of the project. Two hard copies and an electronic copy are required.
14. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
15. A cross access easement/agreement between the properties of 712 and 732 Vista Blvd. shall be required (if one does not already exist). The applicant shall be required to verify and provide recorded documentation for this condition.
16. The Landscape Plans, Sheet L1 (noted as Attachment 10 with this report), prepared by Plowe Engineering, Inc. was originally dated 3/3/16 & was revised, this sheet shall be updated to include the revision date consistent with the applicant’s review comments dated 3/29/16 and in response to staff’s review comments dated 3/24/16 (1 pages)
17. The plans shall be revised to include bicycle parking consistent with the Pedestrian and Bicycle Access Design Standard.
18. The applicant shall contact the City Planning Department for a final site inspection when all conditions of approval regarding this application have been completed.

With the addition of #19 being that a gate valve must be added to water service lines and #20 condition would be the building colors and materials to city staff for review and approval.

B. CONTINUED ITEM: VARIANCE – REQUEST BY BEN AND LAUREN MCQUILLAN TO EXCEED THE MAXIMUM IMPERVIOUS SURFACE ALLOWED IN THE SHORELAND OVERLAY DISTRICT AND

ALLOW FOR REDUCED SIDE YARD AND REAR YARD SETBACKS FOR CONSTRUCTION OF A DETACHED GARAGE AND DRIVEWAY ON THE PROPERTY LOCATED AT 425 LAKE STREET WEST.

Perera presented the Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard setbacks for the construction of a detached garage and driveway on the property located at 425 Lake Street West.

Both the Public Services Director and City Engineer have reviewed the request and have indicated that the proposed garage setback of 4 ft. from the rear/south lot line is not ideal but would be acceptable in terms of traffic movement and snow removal for this particular property.

The applicant has also revised the dimensions of the proposed garage based on discussions with their neighbor at 433 Lake St. W. The proposed revisions are outlined below.

1. Footprint of the proposed garage is being reduced from 776 sq. ft. to 760 sq. ft.
2. Length of the proposed garage is being reduced from 39 ft. to 32 ft. (along the portion abutting the shared/west side lot line of the property).
3. Width of the proposed garage is being increased from 26 ft. to 28 ft. (along the portion of the garage that will abut the rear/south lot line of the property).
4. The concrete apron proposed on the south side of the proposed garage will also be extended along the revised width of the garage, thereby increasing the hardcover/impervious surface area of the apron by approximately an additional 8 sq. ft.
5. The revised design will also cause the need to shift the proposed grass paver parking area to the east side of the garage by approximately 2 ft.
6. The service door will be installed on the north side of the proposed garage (versus on the north east side as previously proposed).
7. Two garage doors (one 14 ft. wide, and one 9 ft. wide door) will be installed on the south side of the proposed garage (versus one 18 ft. wide by 8 ft. tall door as previously proposed).
8. Proposed garage will have the same reduced setbacks, building materials, color, and design, as originally proposed.

Revised Variance Request:

The applicants are requesting approval of two variances:

- 1) To allow an approximate 30% hardcover/impervious surface area coverage (thereby exceeding the 25% maximum impervious surface area allowed in the Shoreland Overlay District); and
- 2) To allow an accessory structure (detached garage) and driveway (concrete apron) to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley with the following setbacks:
 - A setback of 2 ft. from the side/west lot line - versus the minimum 10 ft. setback requirement per City Code.
 - A setback of 4 ft. from the rear/south lot line - versus the minimum 10 ft. setback requirement per City Code.

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of "practical difficulty" as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan." So a city evaluating a variance application should make findings as to:

- 1) Is the variance in *harmony with* the purposes and intent of the ordinance?
- 2) Is the variance *consistent with* the *comprehensive plan*?
- 3) Does the proposal put property to use in a *reasonable manner*?
- 4) Are there *unique circumstances* to the property not created by the landowner?
- 5) Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

It appears that there will be a net increase of an additional 2 sq. ft. of hardcover/impervious surface area for the revised garage plans in comparison to the original garage plans that were reviewed by the Planning Commission on 3/3/16. The revised total proposed hardcover/impervious surface area would be approximately 2,589sq. ft. (30% of the lot) versus 2,587 sq. ft. (29.98% of the lot) as previously proposed. A recommendation of approval should be conditioned on a revised certificate of survey being submitted prior to consideration by the City Council to verify the exact proposed setbacks and the exact proposed hardcover/impervious surface area for the purposes of granting the requested variances.

CONDITIONS OF APPROVAL:

- 1) A revised certificate of survey shall be required to be submitted to City staff for review and approval and must include the modifications indicated on the applicant's revised site plans prior to this item being scheduled for review by the City Council.
- 2) The garage shall be constructed as proposed on the revised building and site plans and as conditionally revised by the City Council.
- 3) All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
- 4) The applicant should attempt to incorporate reuse or irrigation with the design of this project.
- 5) For maintenance purposes the proposed hard surface shall be not consist of gravel or aggregate.
- 6) The windows and service door on the detached garage shall be required to match or be consistent with the principal structure (house).
- 7) The detached garage structure shall be setback a minimum of 4 ft. from the rear/south lot line of the property and a minimum of 2 ft. from the side lot line as indicated in the plans.

Motion by Meisch, second by Hebiesen to approve the VARIANCE REQUEST BY BEN AND LAUREN MCQUILLAN TO EXCEED THE MAXIMUM IMPERVIOUS SURFACE ALLOWED IN THE SHORLAND OVERLAY DISTRICT AND TO ALLOW FOR REDUCED SIDE YARD AND REAR YARD SETBACKS FOR CONSTRUCTION OF A DETACHED GARAGE AND DIRVEWAY ON THE PROPERTY LOCATED AT 425 LAKE STREET WEST adding the 7 recommended conditions stated above. All in favor voted aye. MOTION CARRIED.

There being no further business, motion by Meisch, seconded by Hebeisen to adjourn at 7:30P.M. All present voted aye. MOTION CARRIED.

Respectfully submitted,



Brenda Wurst
Recording Secretary

Thursday, April 7, 2016

WACONIA PLANNING COMMISSION MEETING

PLEASE SIGN IN

	NAME	ADDRESS
1.	BEN McQUILLAN	425 W LAKE ST
2.	TACK M FIELDER DDS	133 W 15 th ST
3.	LAWRA B MENSER DDS	133 W 14 STREET
4.	JIM STRAPLES Architect	maple W.W.
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REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date:	May 5 th , 2016
Item Name:	Public Hearing – Variance Request by Mike & Cindy Blanchfield for Construction of a Detached Accessory Structure at a Reduced Rear Yard Setback for the Property located at 40 Pine Street North
Originating Department:	Community Development
Presented by:	Lane L. Braaten, Community Development Director

Previous Council Action (if any):					
Item Type (X only one):	Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Open Public Hearing
Motion to Close the Public Hearing
Motion Recommending either approval or denial of the Variance Request by Mike and Cindy Blanchfield for construction of a detached accessory structure at a setback of 1 ft. from the rear lot line and alley versus the required 10 ft. minimum setback for their property located at 40 Pine Street North.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND:

Applicants: Mike & Cindy Blanchfield
Owner: Michael Blanchfield
Address: 40 Pine Street North, Waconia MN
PID# 750504030
Zoning: R-4, Mixed Residential District
Lot Size: 17,281 sq. ft.
Special District: Shoreland Overlay District

REQUEST:

The City has received a Variance Application from Mike and Cindy Blanchfield (the “applicants”) to construct a new detached garage (accessory structure) at a setback of 1 ft. from the rear lot line and alley versus the 10 ft. minimum setback requirement from the rear lot line and alley for properties zoned R-4 with a lot width of 55 ft. or greater.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 – District Regulations, Subd. 2.D – R-4, Mixed Residential District
2. Section 900.06, Subd. 7. – Shoreland Overlay District
3. Section 900.06, Subd. 1.C. – Accessory Structures, Recreational Vehicles and Other Matters
4. Section 900.12 – Administration, Enforcement and Procedures, Subd. 4 – Variances

DEFINITIONS:

1. Accessory Structure: A structure subordinate to, and serving the principal structure on the same lot and customarily incidental thereto.

LOT REQUIREMENTS

The subject property is located in the R-4, Mixed Residential District and located within the Shoreland Overlay District as the property is located within 1,000 of Lake Waconia. The Lot Requirements for accessory structures on the subject property are indicated in Table 1-1 below.

Table 1-1.

	R-4 & Shoreland – Lot Requirements
Lot Area	7,850 sq. ft. minimum
Lot Width	50 ft. minimum
Maximum Hardcover Surface	25% maximum
Maximum Structure Height – Detached Accessory Structure	20 ft. maximum
Maximum Floor Area- Detached Accessory Structure	1,200 sq. ft. maximum (based on overall lot area)
Side Yard Setback – Street	15 ft. minimum
Side Yard Setback – Interior	10 ft. minimum
Rear Yard Setback	10 ft. minimum

VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

1. Is the variance in *harmony with* the purposes and intent of the ordinance?
2. Is the variance *consistent with* the *comprehensive plan*?
3. Does the proposal put property to use in a *reasonable manner*?
4. Are there *unique circumstances* to the property not created by the landowner?
5. Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

VARIANCE ANALYSIS:

The applicant is proposing the construction of a 22 ft. x 28 ft. (616 sq. ft.) detached accessory structure/garage to replace the existing 319 sq. ft. garage on the subject parcel. The applicants have indicated, and the survey shows, the existing garage is located 1 ft. from the rear property line/alley and they would like to “*retain this setback versus the current ordinance requirement of 10 feet.*” Further, the applicants have stated, and I have summarized, that there are mature trees on the parcel they wish to retain and other garages in the immediate area are located within the 10 ft. rear yard setback. Please see the attached applicant statement.

Staff has reviewed the application for conformance with all other zoning district and Shoreland Overlay District standards and the only variance necessary for construction of the garage is the rear yard setback. The City Engineer has reviewed said application and indicated “*With the garage door facing east I don’t have any concerns with turning and snow storage like on the previous garage variance. I have no concerns/comments.*”

Also, please note that the applicants have indicated that the garage will be constructed to match the look of the principal structure while using updated materials to side and roof the garage. Further description of the proposed materials are described in the applicant's variance statement.

The Planning Commission will need to weigh the variance review criteria and determine if the proposed garage setback variance request is in conformance with said standards.

PUBLIC NOTICE/COMMENT:

The notice was published in the WACONIA PATRIOT on April 21st, 2016 and posted at Waconia City Hall. Individual notices were mailed to property owners within 350 feet of the subject parcel. The comments received have been attached to this report for review and consideration by the Planning Commission.

RECOMMENDATION:

The Planning Commission should hold the required public hearing, review the variance request submitted by Mike and Cindy Blanchfield based on the Variance Criteria stated above, and make a recommendation to the City Council. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on May 16th, 2016.

If the Planning Commission chooses to recommend approval of the variance to allow construction of the detached garage at a reduced rear yard setback staff would recommend the approval upon the following conditions:

- 1) The proposed improvements shall be constructed as proposed and as conditionally revised by the Planning Commission and City Council.
- 2) The applicant shall obtain the necessary building permit(s) prior to any work commencing.
- 3) The applicant shall be required to schedule a site inspection with the Community Development Director when all improvements have been completed to verify compliance with the variance.
- 4) The variance shall be considered void if it is not executed within one year of the date in which it is approved.

ATTACHMENTS:

1. Location Map (1 page)
2. Variance Application (3 pages)
3. Statement of Variance (2 pages)
4. Property Images with Notes (12 pages)
5. Public Hearing Notice (1 page)
6. Garage Plans (4 pages)
7. Neighbor Comments (1 page)
8. Certificate of Survey (1 page)

Location Map—40 Pine Street North





CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135
www.waconia.org

VARIANCE

APPLICANT INFORMATION

1. Owner's Name: Mike and Cindy Blanchfield
2. Address of Property: 40 N. Pine St. Waconia 55387
3. Legal Description: lots 20+21, Block 39
4. Applicant's Name: Mike and Cindy Blanchfield
5. Mailing Address: 40 N. Pine St. Waconia 55387
6. Daytime Phone(s): 952-212-8536
7. Email Address: Mike.Blanchfield@mchs.com

The City will distribute copies & appropriate information to applicant via email

OFFICE USE ONLY

Date Received: _____

Fee: \$ _____
Receipt #: _____



CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135

VARIANCE APPLICATION

1. Present Zoning: R-4
 2. Existing use of Property: Residential
 3. Has request for a variance on this property been sought previously? If so, when? NO
-
-

IMPORTANT

Subd. 4. Variances

- A. No variance shall be granted to allow a use not permitted under the terms of this Ordinance in the district involved. In granting a variance the Board may prescribe appropriate conditions in conformity with this Ordinance. When such conditions are made part of the terms under which the variance is granted, violation of the conditions is a violation of this Ordinance. A variance shall not be granted by the Board unless it conforms to the following standards:
1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and do not result from the actions of the petitioner.
 2. Literal interpretation of the provisions of this Ordinance would deprive the petitioner of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.
 3. Granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same district.
 4. The proposed variance will not impair an adequate supply of light and air to adjacent property, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the residents of the City.
 5. FINANCIAL SAVINGS WILL NOT CONSTITUTE A HARDSHIP.

THE FOLLOWING INFORMATION MUST BE FURNISHED IN ORDER TO PROCESS THE APPLICATION

1. A letter from the applicant(s) which should address the following:
 - Explain (in detail) the variance you are requesting (giving distances where appropriate).
 - Conditions or peculiar difficulties to the structure or land, which makes a variance necessary.
 - Why do you feel a variance should be granted in this instance?
2. Payment of application fee (**\$125 residential; \$275 non-residential**)
3. **Non-residential variance requests are required to submit an escrow payment in the amount of \$1,000.00.**

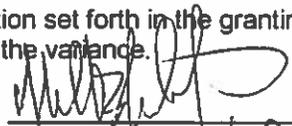
****Additional information may be requested by staff, based on the proposal. Additional consulting review fees may apply, such as civil engineering and legal counsel.**

4. Scaled site plan with north arrow indicating existing structures and proposed additions or modification to structures.
5. Show all distances of buildings and structures from property lines.
6. Show any unique features to property associated with variance request (i.e. trees, ravines, steep slopes, etc.).

The Planning Commission may or may not hold a public hearing on the request (based on the amount of the variance requested). The Planning Commission should make a recommendation to the City Council within sixty (60) days. If they do not, the City Council may proceed without the Planning Commission's recommendation.

The City Council may approve, approve with conditions, or deny the variance. If a variance is denied the applicant cannot resubmit a variance request for that same property until six (6) months has lapsed. If a variance is approved, it should be made use of within one (1) year or it will become void.

A violation of any condition set forth in the granting of the variance shall be a violation of the zoning ordinance and automatically terminate the variance.

Applicant's Signature: 

Date: 3-14-16

Printed Name: Mike Blandfield

Mike and Cindy Blanchfield
40 N. Pine St
Waconia, MN 55387

March 29, 2016

City of Waconia
201 S. Vine St.
Waconia, MN 55387

Dear Community Development Director and Planning Commissioners,

We are writing to request a setback variance for the construction of a new garage on our property. The plan for this project includes the demolition of the old one stall, 14x22 garage and the construction of a two stall, 22x28 structure in the same location. The current garage is set 1 foot from the south lot line and we are requesting a variance to retain this setback versus the current ordinance requirement of 10 feet. The actual distance between the garage and the alley surface is 5 feet.

Our property has numerous mature trees and is nicely landscaped with a fish pond w/fountain feature in the center of the yard. Without this variance we would have to cut down two very large trees, a portion of our privacy hedge along Pine St., and completely replace the concrete driveway. We have reviewed other options for the placement but all would require cutting down additional trees and further disrupting the character of our yard. This is the least disruptive option.

Many of the garages in this area and along this particular alley have a similar setback from the alley so ours will not be unique in that regard. We know from previous similar requests that there may be some concern about snow removal issues with alley garages. With the driveway facing Pine St. there is no interference from snow plows nor has there ever been a problem with snow removal in the time we've lived here.

Our home was built in 1900 and is one of the oldest houses in Waconia. Over the years it has been maintained to retain its unique character and we work hard to continue that tradition with every improvement. This garage will be no different. It will be constructed to match very closely to the look of our home and while we will use updated materials to side and roof the garage, the soffits will be trimmed with crown molding to match the house trim, and it will be painted white with black window & door trim and roof to match the home. The roof pitch will be similar to the home (limited only by the height restrictions) and will be shingled with black architectural asphalt shingles. The siding will be horizontal composite lap siding, and the accessory features will be akin to an early 20th century carriage house with black coach lights and decorative coach style double garage door. Paned windows and service door will be installed which will also be in keeping with the look of the home.

This variance request conforms to the standards set forth in the Variance Application and also fully meets the criteria for determining "practical difficulty". Regarding these criteria:

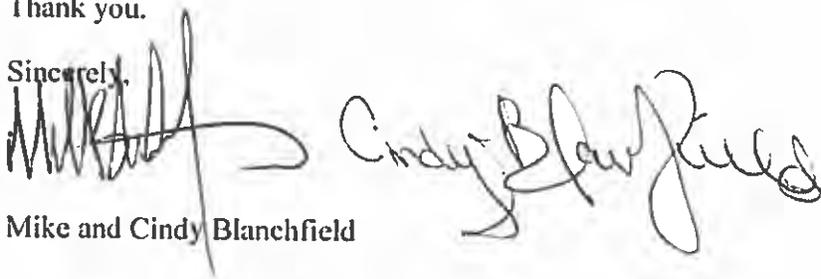
1. The variance remains in harmony with the R-4 ordinances.
2. It is consistent with the comprehensive plan in that it is not changing the intended use of the property.
3. The property will be put to use in a reasonable manner.
4. There are pre-existing unique circumstances such as mature trees and landscape features.
5. The project with the variance approved will actually significantly improve the character of the locality by replacing this old garage with a garage that has much more curb appeal and that more closely matches the look of the home.

In summary, full compliance with the setback requirements would result in the removal of 2 very mature trees, the cutting back of our privacy border *and* further disrupting the character of our yard. For these reasons we respectfully request the approval of this variance request.

Included are the application, site plan, and the variance application fee in the amount of \$125.

Thank you.

Sincerely,



Mike and Cindy Blanchfield



Street view of driveway and pine trees. 10' setback would require a new driveway and removal of section of privacy hedge.



Facing South. Two large pine trees on left (east) side, large linden on right (west) side.



Facing East. New garage corner with proposed setback is 6 feet from Linden tree. Tree would need to be removed to accommodate more setback.



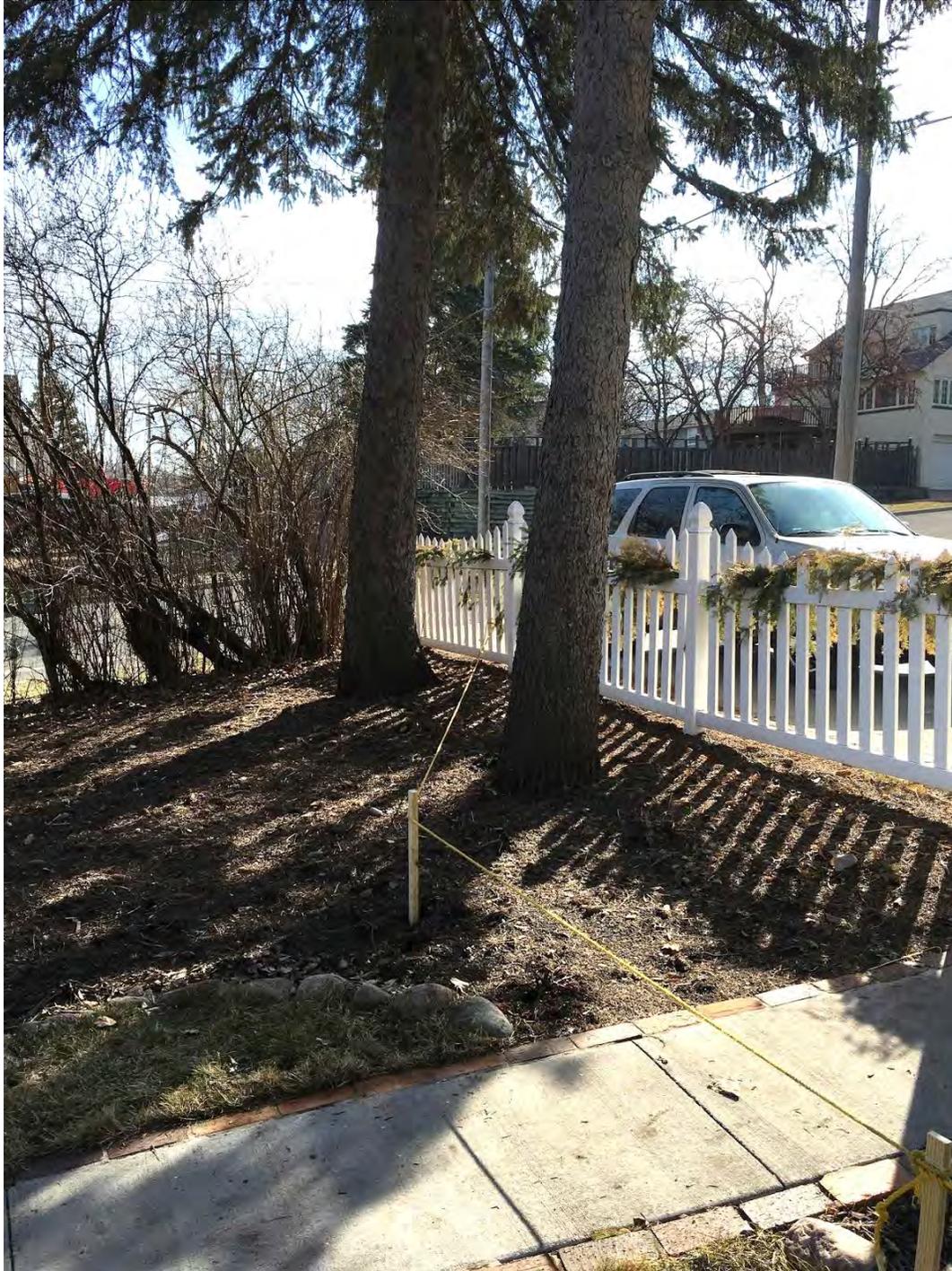
South side alley view. The actual distance to the alley surface is 5 feet (stake). Survey puts the lot line at 1-2 feet. from garage.



Facing South. Outline of new garage shows corner close to tree on the right.



Facing West.



Angle of proposed driveway looking SE. Additional setback would require removal of left-most pine tree and several feet of large lilac privacy hedge.



Angle of driveway looking West. Increasing the setback from alley (shifting the garage to the right) requires removal of second tree.



Typical snow removal situation.



Example of trim and lighting that will be reproduced on the garage.



Black on white color of home.



Black shutters and crown moulding soffit trim.

CITY OF WACONIA, MN
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Waconia, MN, will hold a public hearing on Thursday, May 5, 2016 at 6:30 p.m., at the Waconia City Hall, 201 South Vine Street, Waconia, MN, to consider a Variance request for the property located at 40 Pine St. N. (PID# 750504030), which is zoned R-4 Mixed Residential District and located within the Shoreland Overlay District.

The applicants, Mike and Cindy Blanchfield, are requesting approval of a variance to construct a new detached garage (accessory structure) at a setback of 1 ft. from the rear lot line and alley versus the required 10 ft. minimum setback from the rear lot line and alley for properties zoned R-4 with a lot width of 55 ft. or greater.

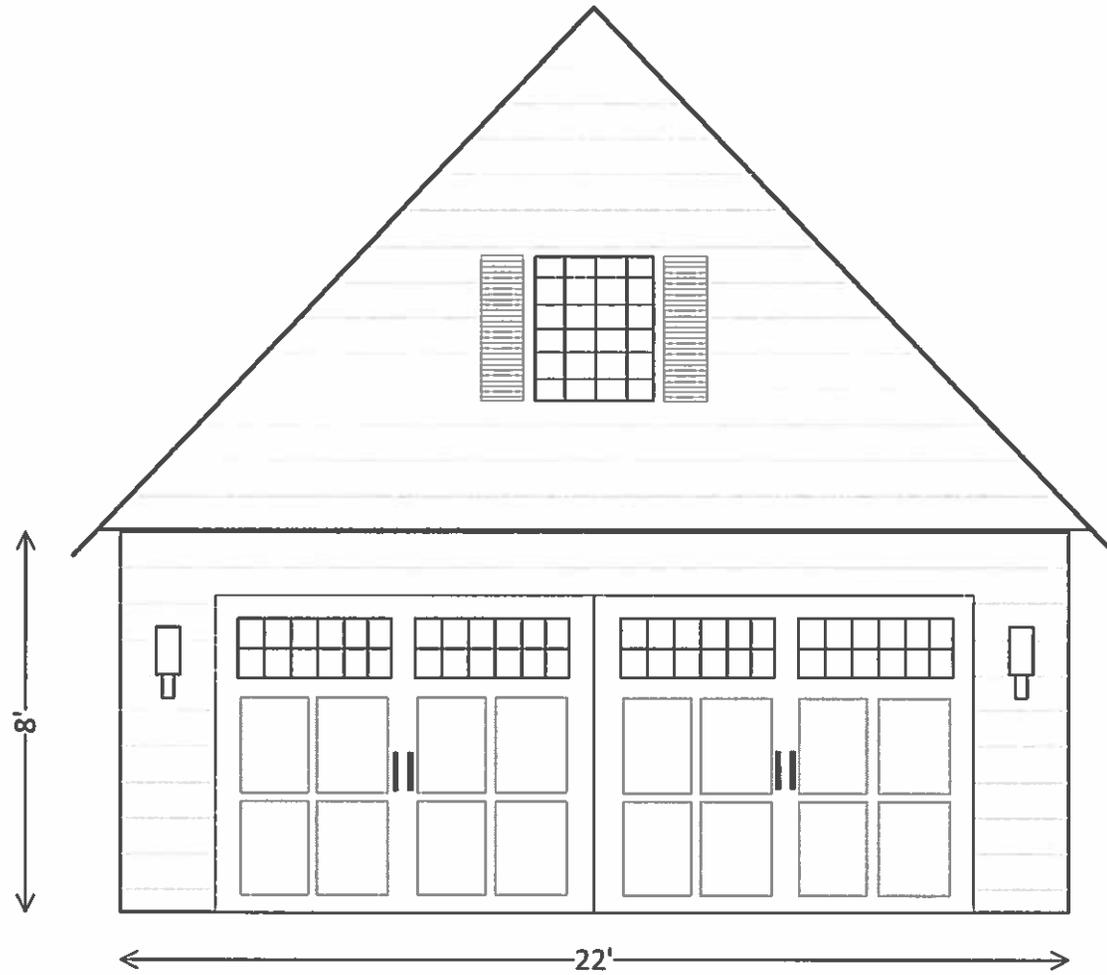
Pertinent information pertaining to this request is available at the City Hall. Interested persons may submit written or oral comments pertaining to this matter any time prior to the hearing, or at the hearing on Thursday, May 5, 2016. Written comments will be distributed to the Planning Commission for review and consideration. Please submit written comments by mail, email or in person as follows:

Mail/in person: Attention: Lane L. Braaten, 201 South Vine Street, Waconia, MN 55387
Email: lbraaten@waconia.org

By: WACONIA PLANNING COMMISSION

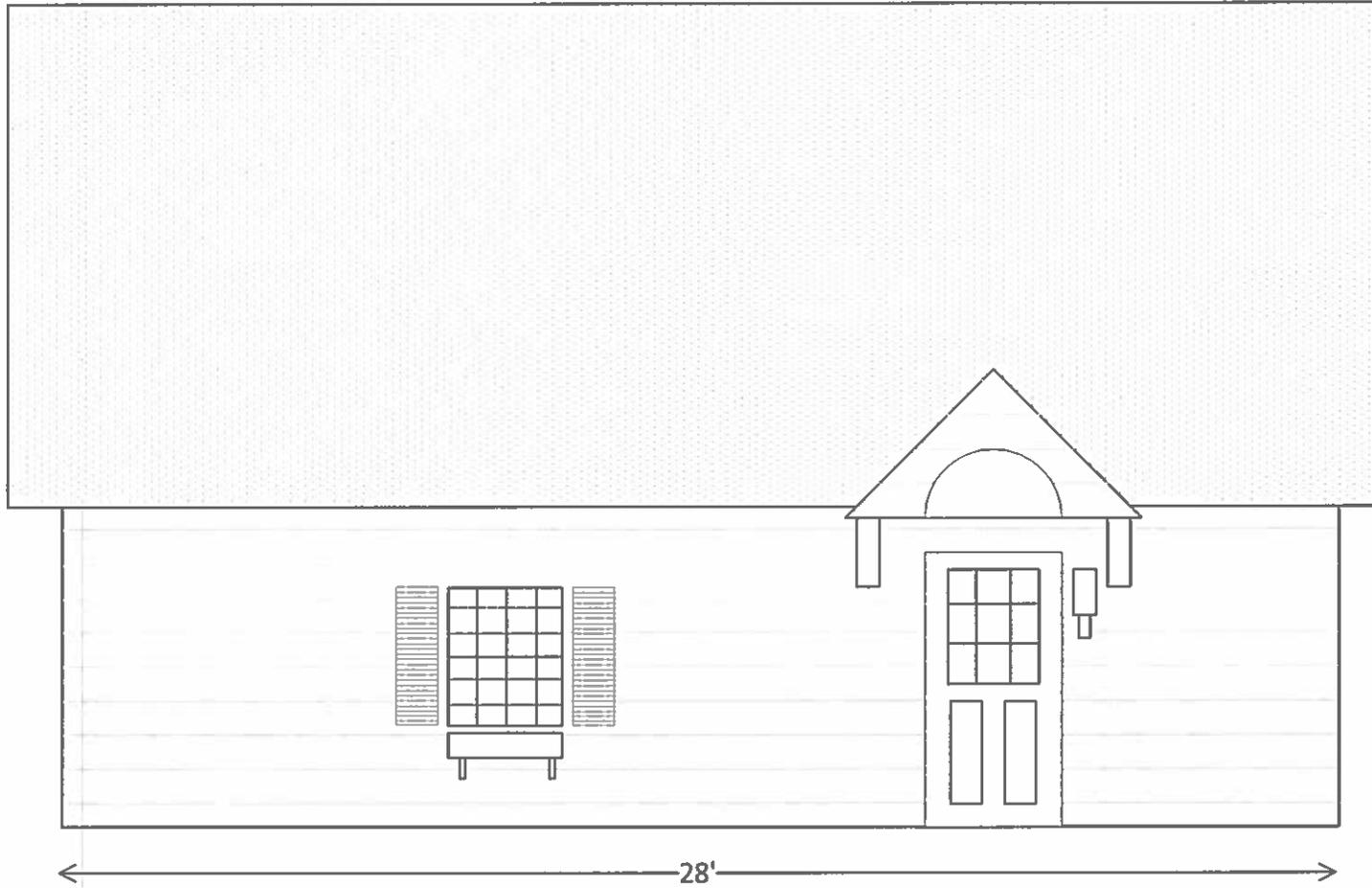
ATTEST: Lane L. Braaten, Community Development Director

(Published in the April 21st, 2016 Waconia Patriot newspaper)



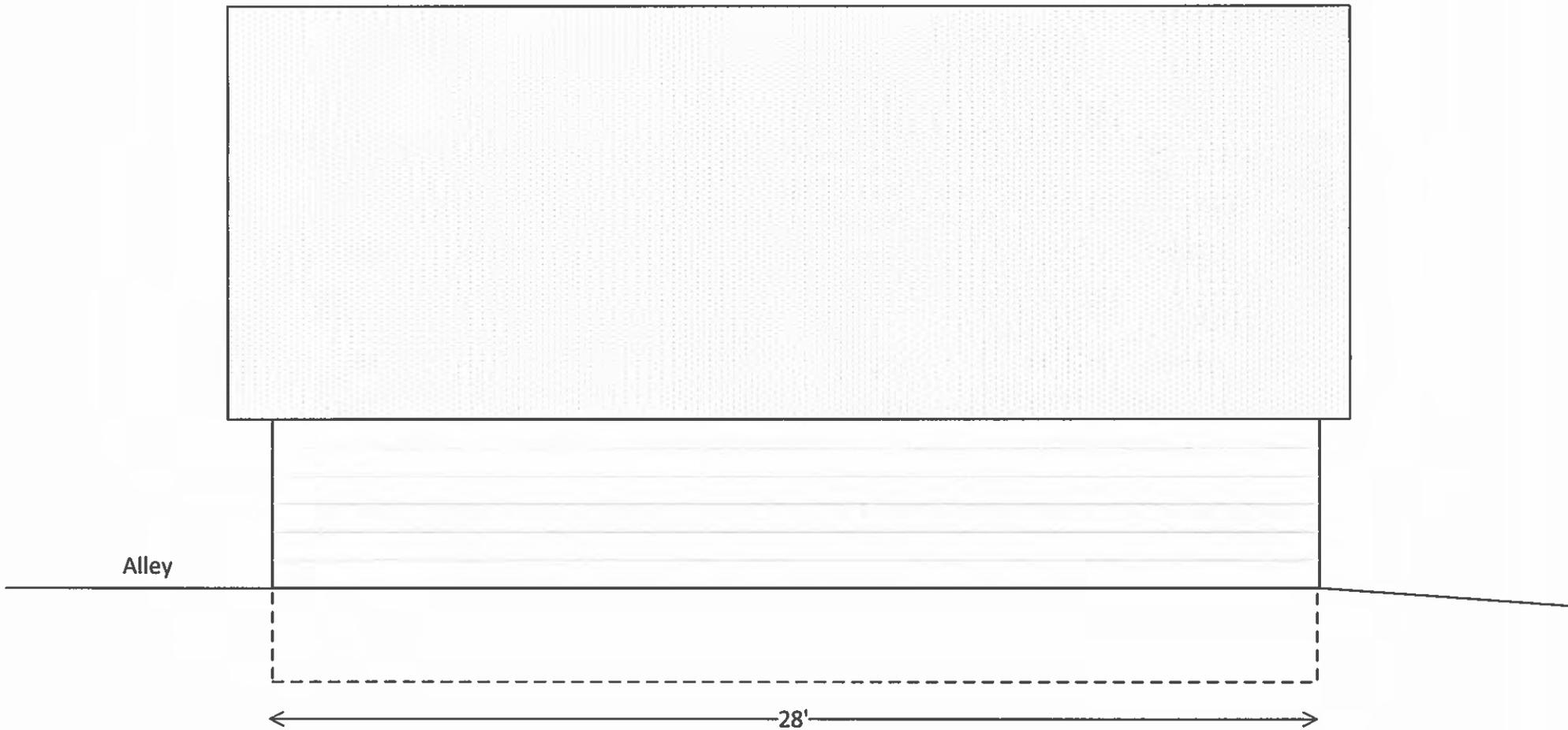
22' x 28' Garage
Scale: 1/4" = 1'

East Side



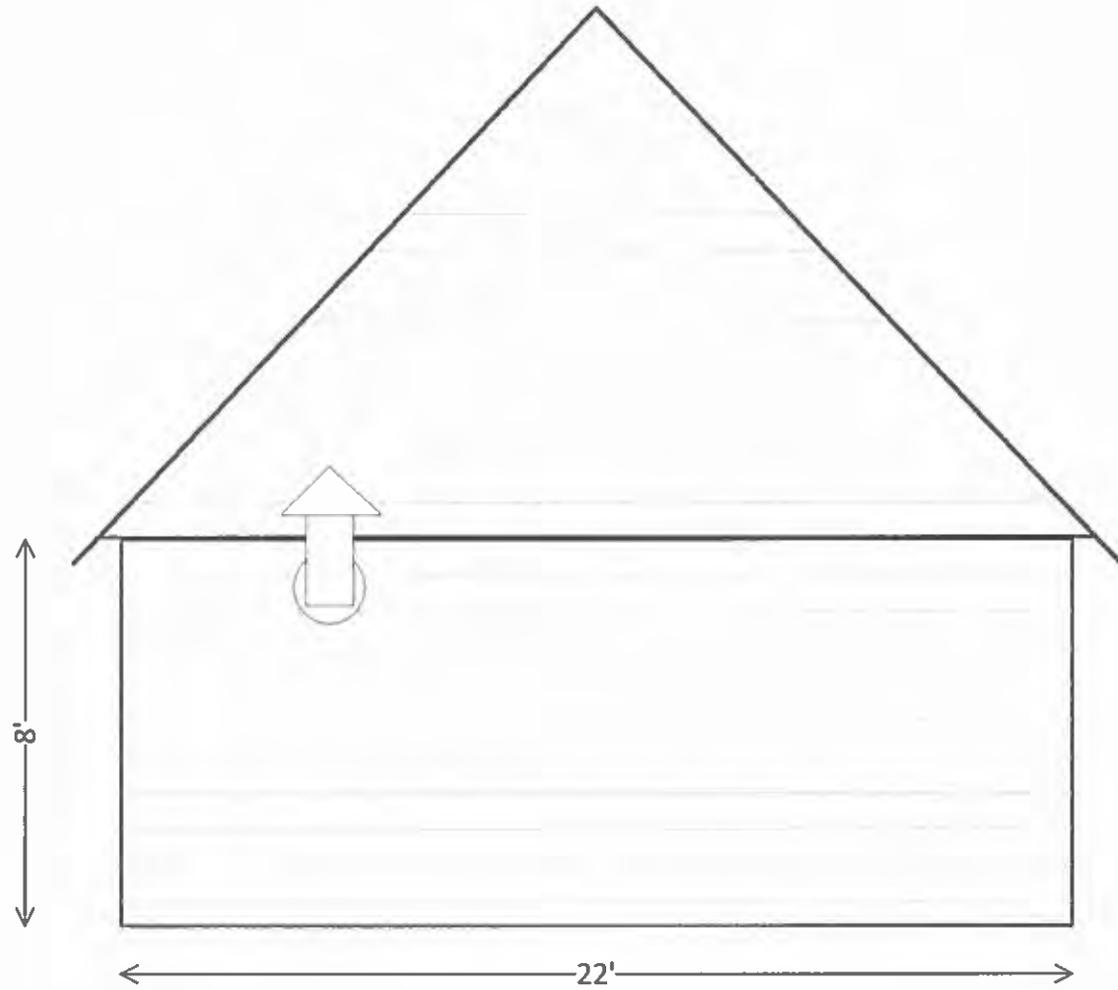
22' x 28' Garage
Scale: 1/4" = 1'

29
North Side



22' x 28' Garage
Scale: 1/4" = 1'

South Side



22' x 28' Garage
Scale: 1/4" = 1'

31
West Side

From: [Jensen, Corey](#)
To: [Lane Braaten](#)
Subject: 40 east lake st
Date: Wednesday, April 27, 2016 9:35:09 AM

The Jensen household of 9 east lake st would be ok the new garage addition to the property of 40 east lake st.

Corey Jensen



REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date: May 5th, 2016
Item Name: SITE PLAN and DESIGN REVIEW– 836 Main Street East– The Avalon Real Estate Group, LLC
Originating Department: Community Development
Presented by: Lane Braaten, Community Development Director

Previous Council Action (if any):

Item Type (X only one): Consent Regular Session Discussion Session

RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED (Include motion in proper format.)

Provide recommendation to City Council regarding Site Plan and Design Review for the proposed building and site improvements at 836 Main Street East.

EXPLANATION OF AGENDA ITEM (Include a description of background, benefits, and recommendations.)

BACKGROUND

Applicant(s): Barbara Van Auken and Kevin Brazner (dba. The Avalon Real Estate Group, LLC)

Owner: The Avalon Real Estate Group, LLC

Address: 836 Main Street East

PID# 753210042

Zoning: B-1, Highway Business District

Comprehensive Plan Designation: C, Commercial

Design District: Highway District

REQUEST

The applicants, Barbara Van Auken and Kevin Brazner, have submitted an application for Site Plan and Design Review for the property located at 836 Main Street East (PID# 753210042). They are proposing the construction of a 70 ft. x 200 ft. multi-tenant commercial building and corresponding site improvements on the subject parcel.

APPLICABLE ORDINANCE PROVISIONS:

1. Section 900.05 – District Regulations, Subd. 2.F – B-1, Highway Business District
2. Section 900.06 – Supplementary Regulations, Subd. 9 – Architectural Design Standards
3. Section 900.07 – Landscaping and Fencing
4. Section 900.08 – Performance Standards
5. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
6. Section 900.10 – Sign Regulations
7. Section 900.12 - Administration, Enforcement and Procedures, Subd. 10 - Site Plan Review

SITE PLAN REVIEW

City Ordinance requires Site Plan Review “in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

EXISTING USE

The undeveloped 1.99 acre parcel was created via a minor subdivision, which resulted from a request from the Avalon Group to “*portion off a plot of land off of Outlot A, Interlaken Village for purposes of land transfer.*” The minor subdivision was approved by the City Council on December 10, 2012, via Resolution No. 2012-228. Outlot A, as mentioned above, was originally developed as part of the Interlaken Village commercial development in 2006. To date only Lot 1, Block 1, Interlaken Village has been improved within the commercial development, which is the current location of Target. The remaining parcels and outlots are yet to be developed.

ZONING

The subject parcel is zoned B-1, Highway Business District. The proposed multi-tenant building shall be subject to the uses permitted in said zoning district and any specific requirements stated in City Code.

LOT REQUIREMENTS

The subject property is located in the B-1, Highway Business District. Section 900.05, Subd. 2.F of the City Ordinance states “*The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generated from the surrounding area.*” The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

Table 1-1.

	B-1, Zoning District – Lot Requirements
Lot Area	17,500 sq. ft. minimum
Lot Width	100 ft. minimum
Maximum Hardcover Surface	80% maximum
Maximum Structure Height	35 ft. maximum
Front Yard Setback	25 ft. minimum
Side Yard Setback – Street	20 ft. minimum
Side Yard Setback – Interior	15 ft. minimum*
Rear Yard Setback	20 ft. minimum

* 35 ft. if adjacent to residential district

The structure setbacks, building height, and hardcover surface requirements stated above have been satisfied based on a review of the Site Plan – A0.3, dated April 22, 2016 and the Exterior Elevations – A5.1, dated April 22nd, 2016.

SCREENING OF EQUIPMENT

The applicant has not proposed any outdoor equipment on the subject parcel. Future outdoor and/or rooftop mechanical equipment shall be screened from neighboring properties in compliance with the City Code.

OFF-STREET PARKING

The applicants have provided the following parking calculation for the multi-tenant building:

Parking Ratio: 7 parking stalls per 1,000 sq. ft. of usable building area.

Total Parking Provided: 96 spaces

The parking ratio indicated above is not reflected in the City’s Off-Street Parking Requirements and therefore further clarification is required from the applicant indicating how the parking standards have been met. Based on a review of the uses that are commonly found in other multi-tenant buildings it would seem some of the following calculations may be appropriate:

Retail Sales: Four (4) spaces for each 1,000 square feet of gross floor space, less storage space.

Restaurants, cafes, bars, taverns, night clubs: One (1) space for every three seats based on design capacity

Professional, personal and business offices: One (1) space per 200 square feet of gross floor area but at least three (3) parking spaces.

The applicant should prove out the parking calculations based on proposed uses of the space prior to a recommendation by the Planning Commission. Based on a review of the standards above listed by staff it seems that the applicant will meet the City Ordinance Off-Street Parking Requirements, but the applicant needs to provide further information to confirm this assumption.

LANDSCAPING

Section 900.07, Subd. 2.B of the City Ordinance requires one (1) tree for every on thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.

The submitted Landscaping Plan – A0.2, dated April 22nd, 2016 indicates the following:

1. Building Area = 13,996 square feet/1,000 = 14 trees required
2. Site Perimeter = 1,243 feet/50 = 25 trees required

As the site perimeter calculation requires a greater number of trees to be planted, the 25 tree requirement shall be used for the review of this application. The applicant is proposing to plant the required 25 trees, so the tree count is in conformance with the City Ordinance requirements. In addition, the City Ordinance requires *“The complement of trees fulfilling the requirements of this policy shall be not less than 25% deciduous and not less than 33% coniferous.”*

The number of trees proposed conforms to City Code, but the species shall be revised to meet the percentages stated above. Staff recommends a condition of approval requiring a revised landscaping plan meeting the required tree count and percentages for conifers and deciduous trees.

SIGNS

The applicants have not submitted any signage details with regard to the proposed Site Plan improvements. The applicant is aware that any future signage shall require the submittal and approval of a sign permit through the City and will require conformance to the City Sign Ordinance.

LIGHTING

Section 900.08, Subd. 1.C provides standards for exterior lighting. The applicant has noted *“The design/build contractor shall provide and submit a lighting plan to the City of Waconia approval prior to construction.”* A recommendation of approval should include a condition requiring the applicant submit a lighting plan for review and approval prior to the issuance of a building for the property.

VEHICULAR ACCESS

The applicants are proposing to install only one access off of Target Entrance first building in the development. The Concept Plan for this area included a second entrance to the site, which will be developed at a later date.

LOADING/DELIVERY DOCK

The applicants are not proposing a loading berth and/or delivery dock as part of this application. City Ordinance indicates that loading berths are required for the following:

- a. *Commercial and Industrial: All buildings shall have at least one off-street loading berth. Buildings which are 10,000 square feet or more shall have at a minimum 2 loading berths.*
- b. *Other uses: uses not mentioned shall be determined on an individual basis by the City Council. Factors to be considered in such determination shall include (without limitation) size of buildings, type of use, number of employees, expected volume and turnover of customer traffic, and expected frequency and number of delivery or service vehicles.*

The footprint of the building exceeds the 10,000 square foot minimum indicated above, but is intended as a multi-tenant building to include commercial retail, services and a food and beverage establishment. The Commission should consider the Ordinance language indicated above and determine if a loading berth or multiple loading berths maybe appropriate for the structure. The applicant should clarify the frequency and how the delivery process will occur for the proposed tenant spaces.

Please note that the proposed development is consistent with the 12,000+ square foot multi-tenant building developed in Legacy Village, which did not require a loading berth to be developed.

PEDESTRIAN ACCESS

A section of sidewalk has already been installed along Target Entrance and the applicants are proposing to connect a sidewalk segment to the existing section to provide access to the front of the multi-tenant building. Further sidewalk improvements on site may be necessary to provide walkability to the remaining developable areas adjacent to this parcel.

TRASH

City Ordinance requires *“All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.”*

The applicants have proposed a trash enclosure on the northern portion of the property, which will which match the principal structure in that it will be constructed with the same utility brick. The proposed trash enclosure is in conformance with the City Code requirements.

GRADING, DRAINAGE & UTILITIES

The watermain, sanitary sewer, grading, and stormwater issues have been reviewed by the City Engineer and Public Services Director. Please see the attached Engineering Review Comments dated April 26, 2016. If the Planning Commission recommends approval of the Site Plan application it should include a condition of approval requiring compliance with the City Engineers April 26, 2016 Review Comments.

DESIGN REVIEW – HIGHWAY DISTRICT

City Ordinance requires Design Review with the understanding that *“the visual character and historic resources of the City are important attributes of its quality of life.”* City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

BUILDING CHARACTER

Objective: It is understood that the City's Highway Commercial District and Health Care Business District generally lack traditional buildings that provide a "context" or frame of reference for new buildings. The intent of this section is to encourage buildings with a human scale, which evoke traditional buildings without imitating them, and to create a pedestrian-friendly internal site layout and streetscape.

ARCHITECTURAL STYLE

Objective: To encourage creativity and diversity within a defined framework.

To encourage the adaptation of historic commercial styles in a restrained and appropriate manner.

Standard: No single architectural style or styles are required. The Design Vocabulary is intended to guide in the selection of an overall style or stylistic elements. The contemporary adaptation of elements of historic commercial architectural styles found in downtown Waconia, including Italianate, Neoclassical and Early Twentieth Century Commercial, is encouraged. If a particular style is used, it should be used consistently. The combination of elements of a variety of styles in one building is discouraged.

Design Response: The proposed architectural style is consistent with other buildings constructed in the Highway Commercial District. The structure will be the first building on the north side of Target Entrance. The Concept Plan for the Interlaken Commercial Development indicated that as many as seven building would be constructed when built out. The future buildings should relate to the proposed building in architectural style when developed.

BUILDING PLACEMENT

Objectives: To encourage pedestrian circulation by maintaining a moderate distance among buildings on the site, and between buildings and abutting streets.

To encourage shared parking among uses.

Standards: Buildings should be located to facilitate pedestrian circulation. Distances between principal buildings, or between the most distant entrances of a single building, should not exceed 300 feet. This standard can be achieved through the arrangement of freestanding buildings in compact groups, the design of single buildings in an "L" or "T" shape, or similar strategies.

Building entrances should be located as close to abutting streets as possible, and no further than 85 feet from the street right-of-way. This standard may be achieved through the creation of one or more public or private internal streets within a large site. (See Figures 15 and 16; see also Parking and Pedestrian Circulation standards.)

Design Response: The proposed site is in compliance with the Building Placement section of the Highway District Design Standards as this is the first building in the northern portion of the Interlaken Commercial Development, which will allow for an internal pedestrian circulation throughout the development when completed.

BUILDING WIDTH and FAÇADE ARTICULATION

Objectives: To articulate long or massive building facades in order to reduce their perceived bulk and provide visual interest as viewed from the street or sidewalk.

To ensure that all facades visible to the public shall be visually attractive and compatible with adjacent land uses.

Standard: Buildings of more than 40 feet in width shall be divided into smaller increments through articulation of the façade. This can be achieved through combinations of the following techniques, and others that may meet the objective.

- * Façade modulation -- stepping back or extending forward a portion of the façade
- * Vertical divisions using different textures or materials (although materials should be drawn from a common palette)
- * Division into storefronts, with separate display windows and entrances
- * Variation in roof lines by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval
- * Arcades, awnings, window bays, arched windows and balconies at intervals equal to the articulation interval
- * Providing a lighting fixture, trellis, tree, or other landscape feature with each interval

Design Response: The plans submitted are in compliance with the Building Width and Façade Articulation Design Standard as the applicant breaks up the building facades by the use of vertical divisions using different textures and materials. The applicants have also included design elements such as canvas awnings on the corner tenant spaces to further divide the tenant spaces visually.

SCALE, PROPORTION and PLACEMENT

Objective: To encourage building elements that are proportionately scaled to one another.

Standard: In general building elements such as windows, doors, arcades, towers, etc. should be arranged symmetrically across the façade, in a regular and logical manner. Window and door openings should be proportional to façade length and height. Large elements (i.e. clock tower) may be appropriate, but there should be an emphasis on maintaining a human scale at the ground level (see Figure 17).

Design Response: The building elevations shown in the plan set on page A5.1 indicate a building consistent in scale and proportion. Further, the building elements are arranged symmetrically across the front, rear and side facades and the windows are proportional as required by the standard.

GROUND-FLOOR WINDOWS

Objective: To allow views into and out of buildings in order to increase a sense of security and allow opportunities for display of merchandise.

Standards: The primary street level façade of large retail or office establishments (over 25,000 square feet) that faces a public street or walkway shall be transparent between the height of 3 and 8 feet above sidewalk grade for at least 40 percent of the horizontal length of the building façade.

The primary street level façade of smaller retail or office establishments (25,000 square feet or less) shall be transparent for at least 50 percent of the horizontal length of the building façade, between the height of 3 and 8 feet above sidewalk grade, at minimum.

Design Response: The proposed elevations seem to indicate that the structure will meet the transparency requirement of 50% between the height of 3 and 8 feet above the sidewalk grade. The applicant should provide documentation to support staffs measurements. Staff has included a condition of approval requiring the elevation plan set be revised to indicate the proposed percentage of transparency.

ENTRIES

Objective: To ensure that entries contribute to the visual attractiveness of the building and are readily visible to the customer.

Standards: Entries to principal buildings shall feature at least two of the following features:

1. Canopy, portico, overhang, arcade or arch above the entrance
2. Recesses or projections in the building façade surrounding the entrance
3. Peaked roof or raised parapet over the door
4. Display windows surrounding the entrance
5. Architectural detailing such as tile work or ornamental moldings
6. Permanent planters or window boxes for landscaping

Primary building entrances shall face the primary abutting public street, not a side or rear parking area.

Design Response: The plans are compliant with the Entries Design Standard as they incorporate the use of an entrance canopies, pre-fabricated sun shade devices, and windows surrounding the entrances to the building.

BUILDING MATERIALS

Objective: To ensure that high-quality, authentic materials that evoke traditional downtown settings are used in new commercial development.

Standard: Buildings should be constructed of high-quality materials such as brick, stone or textured, cast stone or tinted masonry units. The following materials are prohibited:

- X Unadorned plain or painted concrete block
- X Tilt-up concrete panels
- X Pre-fabricated steel or sheet metal panels
- X Reflective glass
- X Aluminum, vinyl, fiberglass, asphalt or fiberboard siding
- X Wood siding

Accent materials may be used on up to 15% of the building's façade. These may include metal, glass block, spandrel glass or similar materials as approved by the Planning Commission (see Figure 18).

Other Materials: The Planning Commission may also approve other materials that the Planning Commission, in its discretion, determines are compatible with any permitted materials if it finds that: 1) the quality and appearance of the proposed materials is consistent with the standard that has been set within the Highway District; and 2) the use of these materials will not have a detrimental effect upon adjacent property values or property values within the City.

Design Response: The proposed building materials are in compliance with the Highway District Design Standards. The material include, but are not limited to, utility brick, EIFS, and cultured stone veneer.

SIDE and REAR TREATMENTS

Objective: To ensure continuity of materials and façade treatments on all visible facades.

Standard: All building facades visible from a public street or walkway shall employ materials and design features similar to those of the front façade.

Design Response: The applicants have included consistent design materials and façade treatments on all four sides of the proposed building, which complies with the Side and Rear Treatments Design Standard.

BUILDING COLORS

Objective: To ensure that building colors are aesthetically pleasing and compatible with surrounding buildings.

Standard: Building colors shall consist of subtle, neutral or muted colors, with low reflectance. Recommended colors include browns, grays, tans (including the typical "Chaska brick" used in Waconia), beiges, and dark or muted greens, blues and reds. No more than two principal colors may be used on a façade. Bright, white or primary colors should be used only as accents, occupying a maximum of 10 percent of building facades.

Design Response: The proposed building colors are in compliance with the Building Colors Design Standard as shown on the attached color perspective renderings. Materials and colors will be provided at the Planning Commission meeting for review and consideration.

SIGNS

Regulations: Regulations for signs in the Highway Districts shall be as set forth in Section 900.10 of the City Code.

Design Response: The applicants have not proposed any signage as part of this application, but is aware that any future signage shall require a sign permit through the City and the sign details must be consistent with the Sign Ordinance and the Highway District Design Standards.

PEDESTRIAN and BICYCLE ACCESS

Objective: To ensure that pedestrians and bicyclists have safe and convenient access to all retail establishments.

Standards:

- 1) Sidewalks may be required along some or all public streets that abut the proposed development in order to provide pedestrian connections from all adjacent neighborhoods and activity centers.
- 2) A well-defined pedestrian path shall be provided from the sidewalk to each principal customer entrance of a building. Walkways shall be located so that the distance between street and entrance is minimized. Walkways shall be at least 5 feet in width, and shall be distinguished through pavement material from the surrounding parking lot. Walkways shall be landscaped for at least 50 percent of their length with trees, shrubs, and planting beds.
- 3) Sidewalks of at least 8 feet in width shall be provided along all front building facades that abut public parking areas.
- 4) Walkways and sidewalks should be defined by design features such as towers, arcades, porticoes, pedestrian-scale light fixtures, planters, and other architectural elements.

- 5) Bicycle parking shall be provided in a convenient and visible location no farther from the principal entrance than the closest automobile parking space, at a ratio of 1 space per 25 automobile parking spaces. Bicycle parking shall consist of a bike rack designed so that the bicycle frame can be locked to the rack, subject to the review of the City Engineer.

Design Response: The submitted plans indicate the installation of a sidewalk section connecting the existing sidewalk elements to the proposed building. A bike rack was not included in the plan set and has been recommended as a condition of approval.

COMMUNITY AMENITIES

Objective: To provide community and public spaces that can be enjoyed on a seasonal basis by customers and the general public and will contribute to the attractiveness of the development.

Standard: Each retail development of over 75,000 square feet in floor area shall provide a patio or outdoor seating area, which may also provide outdoor cafes or dining areas, with the stipulation that at least 50 percent of the area shall be reserved for public use. The outdoor area shall include seating and a water feature, clock tower or other central focal point.

Design Response: This Site Plan is the first portion of the overall development on the north side of the Interlaken Commercial Development. The Concept Plan indicates the proposed community and public spaces required as part of this design standard. This application takes the first step in providing benches and a trellis, but further improvements will be required with the future development of the remaining adjacent properties.

CONCLUSION / RECOMMENDATION

The Planning Commission should make a recommendation to the City Council regarding the request by the Avalon Real Estate Group, LLC for Site Plan and Design Review approval for construction of a new multi-tenant building located at 836 Main Street East. This item will be forwarded to the City Council for review at their upcoming meeting scheduled for May 16th, 2016.

If the Planning Commission chooses to recommend approval of the Site Plan and Design Review request, staff would recommend the approval upon the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The items listed on the City Engineers April 26, 2016 Review Comments shall be resolved to the satisfaction of the City Engineer, the Public Services Director and the Community Development Director prior to the issuance of the building permit for the multi-tenant building.
4. The applicant shall provide the City with a letter of credit to guarantee the proper installation and growth of the approved landscape plan. The letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The applicant/property owner shall confirm with the Carver County Water Management Organization (CCWMO) that all stormwater requirements have been met for the property. Any unresolved issues will need to be resolved as part of the development of this site. CCWMO approval or unresolved issues may delay the issuance of a building permit.
7. The plans shall be revised to include bicycle parking consistent with the Pedestrian and Bicycle Access Design Standard.

8. The Landscape Plan shall be revised to show conformance with the City Ordinance requirement indicating that the complement of trees fulfilling the requirements shall be not less than 25% deciduous and not less than 33% coniferous.
9. The applicant submit a lighting plan for review and approval prior to the issuance of a building for the property.
10. The Exterior Elevations plan sheet shall be revised to indicate the transparency of the building between 3 and 8 feet above the sidewalk grade. City Ordinance requires a minimum of 50% across the primary façade of the building.
11. The Site Plan shall be submitted to the Park and Recreation Commission for review at their upcoming meeting on May 9th to discuss the outstanding Park Dedication Fees due for the property.
12. The applicant shall contact the City Planning Department for a final site inspection when all conditions of approval regarding this application have been completed.

ATTACHMENTS:

- Attachment 1: Location Map (1 page)
- Attachment 2: Site Plan and Design Review Application (3 pages)
- Attachment 3: Engineering Review #2 dated April 26th, 2016 (2 pages)
- Attachment 4: Site Plan – C4.0 (1 page)
- Attachment 5: Utility Plan – C5.0 (1 page)
- Attachment 6: Landscape Plan – A0.2 (1 page)
- Attachment 7: Floor Plan – A2.1 (1 page)
- Attachment 8: Exterior Elevations – A5.1 (1 page)
- Attachment 9: Color Perspectives (1 page)

LOCATION MAP—836 MAIN STREET EAST





CITY OF WACONIA
 201 South Vine Street
 Waconia, MN 55387
 Phone: (952) 442-2184 Ext. 2
 Fax (952) 442-2135
www.waconia.org

APPLICANT INFORMATION

1. Owner's Name: THE AVALON REAL ESTATE GROUP, LLC
2. Address of Property: 836 MAIN STREET EAST, WACONIA
3. Legal Description: _____
4. PID#: 75.3210042 (Interlaken Village)
5. Applicant's Name: BARBARA VANAUKEN & KEVIN BRAZNER
6. Mailing Address: 3033 CAMPUS DR. #N148, PLYMOUTH MN 55441
7. Daytime Phone(s): 763-591-4422
8. Email Address: BARB.AVALON@GMAIL.COM & KEVIN.AVALON@GMAIL.COM

The City will distribute copies & appropriate information to applicant via email

Site Plan and Design Review Application Fees

1. Payment of application fee (\$350)
2. Escrow Payment
 - a. 0-5 Acres \$2,500.00 each
 - b. 6-20 Acres \$3,500.00 each
 - c. 21 + Acres \$4,500.00 each
3. Additional consulting review fees may apply, such as civil engineering and legal counsel

Return any remaining escrow to: ph# 763-591-4422

Avalon Interlaken II LLC
 3033 Campus Dr. #N148
 Plymouth, MN 55441

OFFICE USE ONLY

Date Received: 3-3-16

APP Fee	Escrow Fee
Fee: \$ <u>350.00</u>	<u>2,500.00</u>
Receipt #: <u>0241278</u>	<u>0241279</u>
By: <u>Alexa</u>	
<u>3-3-16</u>	

*Noted Franca...
 of escrow on 3-3-16*



CITY OF WACONIA
201 South Vine Street
Waconia, MN 55387
Phone: (952) 442-2184 Ext. 2
Fax (952) 442-2135
www.waconia.org

SITE PLAN AND DESIGN REVIEW REQUIREMENTS

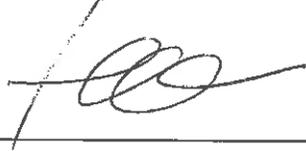
THE FOLLOWING INFORMATION MUST BE SUBMITTED
IN ORDER TO CONSIDER THE APPLICATION COMPLETE

(Check with Planning Office for specific requirements in each category)

1. Name of Site Plan: INTERLAKEN VILLAGE
2. Present Zoning Classification: B-1
3. Existing use of Property: UNDEVELOPED
4. Payment of application and escrow fees. Additional consulting review fees may apply, such as civil engineering and legal counsel.
5. 1 full size, 6 11 x 17, and 1 **Electronic Copy** (include color where possible) survey copies, drawn to scale and dimensioned, with north arrow showing:
 - a. Complete legal description and address of site plan location.
 - b. Lot dimensions.
 - c. All proposed and existing buildings and structures showing setbacks to property lines.
 - d. Yards and space between buildings and property lines.
 - e. Buildings, walls and fences showing height, type of building materials and building elevations for each side of the building.
 - f. Off-street parking showing location, layout, dimensions, circulation, landscaped areas, total number of stalls, surfacing of parking area with cross-section of construction materials, elevation, curb and gutter.
 - g. Access to public streets and trails showing pedestrian and vehicular access points of ingress and egress.
 - h. Outdoor signs showing location, size and height.
 - i. Loading docks showing location, dimensions, number of docks and internal circulation.
 - j. Site lighting showing location, height of poles or fixtures, design and detail (illumination plan showing foot candle measurements).
 - k. Street dedications and improvements, existing and required by City right-of-way standards (inquire with City Engineer if applicable).
 - l. Landscaping with a schedule of the plantings showing quantities, botanical and common names and sizes. Also show size and location of any existing trees.
 - m. Any outdoor storage activities where allowed by zoning codes. Show type, location and height of screening devices.
 - n. Conceptual drainage and grading plan for the site showing proposed finished floor elevation of each building, street elevation and drainage flow elevations. Hydrologic and drainage calculations shall also be submitted.
 - o. Show plans for the waste disposal facilities. Indicate location, access and screening for such facilities.
 - p. Show any easements and location of utilities servicing development.
 - q. Statement of use, including type of business with number of employees by shift.

6. City Ordinance requires design/architectural review to be conducted as part of the Site Plan Review process. The Submittal requirements for Design Review include the following:
- a. Complete exterior elevations of all proposed buildings and existing buildings if they are joined to a new development. Elevations should be drawn at an appropriate scale and should show:
 - i. All signs to be mounted on the building(s) or erected on site.
 - ii. Designations of materials and colors to be used on all exterior facades.
 - b. Material samples shall be presented, including color and material type of walls and roofs.
 - c. Color samples shall be provided of all principal and secondary colors to be used.
 - d. Photographs of surrounding buildings shall be submitted on the same block or street to address issues of design context.

Signature of Applicant:



Date: 3-3-16

Printed Name:

Kevin Brazner

Interlaken Village Outlot (836 Main Street)
Engineering Review #2
April 26, 2016

General Comments:

1. The applicant will be required to obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control. A copy of any approvals or permits required should be submitted conditional to Final Site Plan approval.
2. The applicant will be required to obtain a General Construction Permit for Stormwater associated with Construction Activity (NPDES). A copy of the permit should be submitted conditional to Final Site Plan approval.
3. Record drawings must be submitted upon completion of the project. Two hard copies and an electronic copy are required.
4. Easements are required over the water and sewer mainlines. The easements as shown are adequate and will need to be filed and recorded upon project completion.

Roadway & Access Comments:

5. Due to the heavy clay soils in this area, a minimum pavement section of 4 inches of bituminous with 8 inches of aggregate base is recommended.
6. Pedestrian ramps are needed to access the ADA parking stalls and where the sidewalk crosses the new entrances.
7. The private roadway will require a closure for the watermain connection and pavement restoration. Coordination is needed with adjacent business and traffic control shall be shown on the plans.

Water System Comments:

8. To allow for pressure testing of the new system a gate valve shall be added at the connection point in the west entrance.
9. A temporary hydrant shall be installed at the dead end to the east of the eastern north/south watermain connection. In the future, this hydrant will be removed and replaced with a gate valve.
10. A note shall be added that all ductile iron pipe, hydrant leads, and fittings shall be wrapped with polyethylene encasement material.
11. It is recommended that the water service line to the proposed building be a singular 6-inch line with a gate valve. The domestic connection would occur off of the 6-inch line with a manifold system installed allowing individual meters for each tenant. Each unit would have a valve before and after the meter location with subsequent abilities to disconnect individual units for meter services, non-payment, or individual service needs.

12. All gate valve and hydrant locations shall be reviewed and approved by the Public Services Department and the Fire Chief.

Sanitary Sewer Comments:

13. If a restaurant is planned for any of the lease/tenant space, a grease trap system must be installed to reduce potential sanitary sewer main line clogging and minimize impacts to adjacent tenants.
14. The proposed PVC sewer service material shall be SDR 26.

Stormwater / Grading Comments:

15. Erosion control blanket (cat. 3) shall be added to the proposed swale. A detail for this item should also be included.
16. Additional perimeter curbing and/or a swales along the north and east side of the proposed parking area are required in order to channel the runoff to the proposed swale.
17. The temporary outlet riser at the downstream end of the swale shall be removed and replaced with a precast structure with a 27" inlet casting.
18. Inlet protection shall be added to the new downstream drainage structure.
19. The topographic survey is unclear/incomplete in the area surrounding the downstream drainage structure. A note should be added to the plan indicating that "Coordination of the final layout and final grading shall occur with the City Engineer and Public Services Department".

