



## CITY OF WACONIA PLANNING COMMISSION AGENDA

Regular Meeting of  
Planning Commission  
Waconia, Minnesota

Thursday, April 7<sup>th</sup>, 2016  
City Hall – 6:30 PM

MEMBERS: Mike Blanchfield, Steve Hebeisen, Don Osmundson, John Meisch, Nathan Vilmain  
ALTERNATE MEMBER: Robert Grohmann  
CITY COUNCIL MEMBER LIAISON: Jim Sanborn

STAFF: Lane Braaten, Community Development Director  
Angie Perera, Assistant Planner  
Brenda Wurst, Recording Secretary

1. Call meeting to order and roll call
2. Adopt Agenda
3. Minutes Approval from: March 3<sup>rd</sup>, 2016 Regular Planning Commission Meeting. Pages 1-14
4. New Business
  - A. PUBLIC HEARING: SITE PLAN and DESIGN - Request by Jack Fiedler and Laura Menser for a proposed dental office for the property located at 732 Vista Blvd. Pages 15-54
5. Other
  - A. CONTINUED ITEM: VARIANCE - Request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage and driveway on the property located at 425 Lake Street West. Pages 55-66

Adjourn

**WACONIA PLANNING COMMISSION**  
**THURSDAY, March 3, 2106**

Pursuant to due call and notice thereof, a regular meeting of the Waconia Planning Commission was called to order by Chairperson Blanchfiled at 6:30 p.m.

1. **CALL MEETING TO ORDER.**

**MEMBERS PRESENT:** Blanchfiled, Meisch, Osmundson, Vilmain and Grohmann  
**MEMBERS ABSENT:** Hebeisen  
**ALTERNATE:** Grohmann  
**STAFF PRESENT:** Braaten, Perera and Wurst  
**VISITORS:** See attached sheet  
**CITY COUNCIL LIAISON:** Jim Sanborn

2. **ADOPT AGENDA:** Motion by Hebeisen, seconded by Meisch to adopt the Agenda as presented. All present voted aye. **MOTION CARRIED.**

3. **APPROVE MINUTES:** Motion by Osmundson, second by Vilmain to approve the minutes from the February 4, 2016 Planning Commission Meeting. All present voted aye. **MOTION CARRIED.**

4. **NEW BUSINESS:**

**PUBLIC HEARING: INTERLAKEN 8<sup>TH</sup> ADDITION/STONEGATE PRELIMINARY PLAT, ZONING MAP AMENDMENT AND VARIANCE APPLICATIONS SUBMITTED BY HARTMAN COMMUNITIES, LLC FOR THE PROPERTY LOCATED AT 1150 SOMERWOOD DRIVE.**

The subject parcel is located at 1150 Somerwood Drive, currently undeveloped and located within the Waconia City limits (see attached location map). The property was originally platted as an outlot by Plowshares Development, LLC as part of the Interlaken Development, which was approved by the Waconia City Council in May of 2006. Since that time the parcel has been rough graded, but no development has occurred.

The existing parcel is approximately 15.28 acres in total area with Airport Road acting as the north boundary, County Road 10 the south boundary, Somerwood Drive the east boundary, and Main Street as the west property boundary. The property to the west is currently outside of the City Limits, but guided for a large lot retail project. The properties to the east of the subject parcel consist of the Somerwood Cottages Residential Development and single family homes, which are part of the Interlaken 4<sup>th</sup> Addition development. Target is located to the north and the Interlaken Woods development is located to the south.

The City received three land use applications from Hartman Communities, LLC for the property located at 1150 Somerwood Drive. The applications include the following:

1. Zoning Map Amendment to amend the City of Waconia Zoning Map and rezone the subject property to PUD, Planned Unit Development District from the current zoning of R-3, Medium Density Residential District
2. Variance Application to reduce the building and parking setback from any exterior PUD property line or abutting street to a minimum of 20 ft., versus the 40 ft. minimum required per Ordinance,
3. Preliminary Plat Application for the subject parcel. The Preliminary Plat, titled Interlaken 8<sup>th</sup> Addition/Stonegate, is proposed to include fifty-one (51) small lot, single-family parcels and two (2) outlots.

Braaten displayed a map of the Preliminary Plat and location. The City of Waconia staff have reviewed the proposed Preliminary Plat application for the Interlaken 8<sup>th</sup> Addition/Stonegate residential development drafted by Westwood Professional Services, Inc. dated February 4<sup>th</sup>, 2016, as revised on February 22<sup>nd</sup>, 2016 and provide the following review and comments:

#### **Streets/Access**

The applicant is proposing two accesses to the development, both of which are off of Somerwood Drive. The northerly access will align with a future access to the Somerwood Cottages residential development which was platted as Somerwood Way.

The proposed arrangement, character, extent, width, grade and location of all proposed streets shown on the Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat plans are generally in conformance with the City Code and the City's Comprehensive Plan. Staff recommends approval of the street system for Interlaken 8<sup>th</sup> Addition/Stonegate as proposed.

#### **Easements**

Section 1000.06, Subd. Subd. 4 of the City Ordinance requires drainage and utility easements at least 10 feet wide, centered on the rear and side lot lines of abutting lots and shall have continuity from block to block and lot to lot. The applicant is proposing drainage and utility easements which conform to City standards.

#### **Blocks**

The blocks proposed in the Interlaken 8<sup>th</sup> Addition/Stonegate development are in conformance with the standards set forth in City Ordinance.

#### **Lots**

The applicant is requesting approval of PUD, Planned Unit Development District zoning for the Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat in order to allow for reduced lot sizing and reduced setbacks for the individual parcels. The property is currently zoned R-3, Medium Density Residential which allows only multi-family, two family, and townhouse dwellings and requires specific minimum setback and lot width requirements. The applicant has indicated an average lot area of 8,188 sq. ft., a minimum lot area of 7,155 sq. ft., a minimum lot width of 60 ft. and lot depth of at least 110 feet for the Interlaken 8<sup>th</sup> Addition/Stonegate development. The proposed lot sizing is acceptable to City staff per the plans submitted.

#### **Outlots**

The proposed plans indicate two (2) outlots being created with the approval of the Interlaken 8<sup>th</sup> Addition/Stonegate development (Outlots A and B).

Outlot A – The plans indicate that Outlot A will be designated as permanent open space.

Outlot B – The plans indicate that Outlot B will be designated as permanent open space.

### **Public Land Dedication, Open Space**

City Ordinance requires at least 10% of the gross land in a subdivision shall be dedicated for parks, schools, playgrounds and open space. The subject parcel was originally platted in association with the Plowshares Development, LLC Interlaken Development and all public land and open space dedication requirements have been met as part of the afore-mentioned development and therefore no land or public space dedication shall be required as part of this application.

### **Pedestrian Ways and Trails**

City Ordinance states *“Subdividers shall define and construct a meaningful pedestrian circulation system subject to City approval which connects to the major trail system and to schools, parks and shopping areas and shall provide easements to accommodate such movement. Said pedestrian ways shall be coordinated with those of adjacent subdivisions and the Comprehensive Plan.”*

#### **Sidewalks**

The applicant is proposing the installation of a 5 foot wide sidewalk on the west side side of Somerwood Drive extending north from the existing curb ramp on the south side of the property to the existing sidewalk located along the south side of Airport Road. The applicant is also proposing the installation of a 5 ft. sidewalk along at least one side of all road way systems within the development, which is consistent with what the City has allowed in previous subdivisions. City Staff has reviewed the sidewalk plan and determined that it is satisfactory and consistent with previous City approvals in regard to sidewalk width and location.

The proposed sidewalk sections are consistent with the Proposed Sidewalks and Trails Plan in the Waconia Comprehensive Plan. The plan indicates future sidewalk along Somerwood Drive, which is consistent with the applicant’s proposal.

#### **Trails**

The plans propose the construction of two an 8 ft. wide trail sections connecting the internal sidewalk system of Interlaken 8<sup>th</sup> Addition/Stonegate to the City and County Trail systems. The first proposed trail section would connect the sidewalk section in Highland Court to the future City trail section to the southeast. The other 8 ft. wide trail section proposed is a split trail segment located within Outlot A on the southwest corner of the property, which would link the sidewalk section along Stonegate Circle to the City trail located along Main Street and the 10 ft. wide trail section along the north side of County Road 10 (to be constructed by the developer with this project).

The plans also include a 10 ft. wide trail segment along the north side of County Road 10 extending along the entire southernmost property line within the County Road 10 right of way.

### **Preservation of Natural Features and Amenities**

Section 1000.06, Subd. 7.G states *“Existing features which would add value to residential development or to the local government as a whole, such as trees, as herein defined, watercourses and falls, beaches, historic spots, and similar irreplaceable assets, shall be preserved in the design of the subdivision.”*

The subject parcel has already been rough graded and therefore there are no natural features on site that are required to be preserved as part of the Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary

Plat. The Interlaken Park area was preserved when Plowshares Development, LLC originally platted the property as an outlot.

### **Landscaping and Tree Preservation**

#### **Landscaping**

City Ordinance requires the following landscaping for properties zoned PUD, Planned Unit Development:

1. A planting strip and/or earth berm shall be placed in all newly platted residential developments that abut arterial roads to screen the view and to reduce noise levels in residential areas.
2. Landscaping for PUD districts shall follow the respective land-use guidelines. The proposed development shares development characteristics with both the R-1 and R-3 districts. The most restrictive shall apply in this case which is the R-1 district standards for landscaping.
3. Each newly platted lot shall have two (2) trees.
4. Shade trees shall be planted every forty (40) feet to sixty (60) feet within the right-of-way on both sides of any portion of road within the subdivision. The preliminary plat shall reserve an easement authorizing the local government to plant shade trees within five (5) feet of the required right-of-way of the local government.
5. Unless otherwise directed by the Planning Commission, all plantings shall be placed on the private property on which the development is taking place.
6. The owner shall provide the City with cash, corporate surety bond, approved letter of credit or other surety satisfactory to the City to guarantee the proper installation and growth of the approved landscape plan.
7. The landscape plantings shall be consistent with the minimum planting size stated in Section 900.07, Subd. 2.F.

The Interlaken 8<sup>th</sup> Addition/Stonegate Landscape Plan indicates the use of both coniferous and deciduous trees along Airport Road, Main Street, Somerwood Cottages and County Road 10 to screen the residential neighborhood from noise and view. The applicant is proposing to plant 270 total trees, 115 of which are deciduous, 139 are evergreens, and 16 are proposed to be ornamentals. The proposed landscape plan meets the shade tree requirement stated above as the City has consistently allowed the boulevard trees to be located within the front yard of the property if spaced adequately. The 270 proposed trees exceed the 102 trees required for the development and the applicant has proposed 2 trees per lot, which conforms to City Ordinance.

Staff has reviewed the proposed landscape plan and recommends approval of said plan per the Preliminary Landscape Plan drafted by Westwood dated 02/04/16 and revised 02/22/16.

#### **Tree Preservation**

City Ordinance allows developments in residential districts to remove or disturb up to thirty (30) percent of the total tree inches of significant trees. Any removal or disturbance beyond this threshold shall require reforestation or restitution. There are currently a handful of trees on the subject parcel that were planted in close proximity to the existing monument signs. The applicant is proposing that said trees remain in their current location and configuration and therefore a tree preservation and tree removal plan do not apply to this application.

Sewer, Water, and Stormwater items have been addressed by Jake Saulsbury, Consulting City Engineer and Craig Eldred, Public Services Director in the Staff Review memo dated February 16<sup>th</sup>, 2016 and the Bolton & Menk memo dated February 26<sup>th</sup>, 2016 (see Attachments 3 and 4). The applicant has responded to the February 16<sup>th</sup>, 2016 memo and their response to said comments are adequate based on staff's review. Please note that the information submitted for

the preliminary plat phase is adequate, but additional detailed reviews will be needed for the final construction plans for the development.

Stormwater management for the site was approved as part of the Interlaken development. The preliminary plat plans have been reviewed by the City Engineer and Public Services Director and the information provided is adequate for the application. Please note that the plans will require additional detailed review upon submittal of the final construction plans for Interlaken 8<sup>th</sup> Addition/Stonegate.

Braaten explained the applicants request to amend the City of Waconia Zoning Map to rezone the subject parcel from the existing zoning of R-3, Medium Density Residential District to Planned Unit Development District (PUD) to allow for reduced setbacks and reduced lot sizing for a more densely populated single-family residential neighborhood. Table 1-1 below indicates the proposed PUD lot requirements for the Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat.

**Table 1-1.**

	<b>PUD, Planned Unit Development (Proposed Lot Requirements)</b>
<b>Lot Area</b>	<b>7,155 sq. ft. minimum</b>
<b>Lot Width</b>	<b>60 ft. minimum</b>
<b>Hardcover Surface</b>	<b>50% maximum per lot</b>
<b>Structure Height</b>	<b>45 ft. maximum</b>
<b>Front Yard Setback</b>	<b>25 ft. minimum</b>
<b>Rear Yard Setback – House</b>	<b>25 ft. minimum</b>
<b>Rear Yard Setback - Deck</b>	<b>15 ft. minimum</b>
<b>Side Yard Setback – Interior</b>	<b>7.5 ft./15ft. between buildings</b>
<b>Side Yard Setback – Street</b>	<b>25 ft. minimum</b>
<b>Building/Driveway Setback – Exterior R/W Lines</b>	<b>20 ft. minimum</b>

\* The proposed 20 ft. minimum setback for buildings and parking areas from any exterior PUD property line or abutting street is considered as part of the variance request submitted by the applicant.

Staff has reviewed the proposed lot requirements for the Interlaken 8<sup>th</sup> Addition/Stonegate single-family residential development and are comfortable with the setbacks and lot sizing proposed (as noted above).

**Density**

The net area of the parcel is 12.76 acres and the total number of proposed single-family residential units is 51. Based on the afore-mentioned information the residential site density is approximately 4 units per acre. The MetCouncil density requirement is 3 units per acre. The density of 4 units per acre is consistent with the City of Waconia’s Comprehensive Plan, which guides the property as M, Medium Density Residential. Medium Density Residential has a density range of 4 to 10 units per acre.

Braaten explained that the property is currently zoned R-3, Medium Density Residential and the applicant has proposed a Zoning Map Amendment to rezone the property PUD, Planned Unit Development to allow for reduced lot sizing and reduced setbacks. If the Planning Commission indicates the rezoning is appropriate the applicant has requested consideration of a variance from the setback standards stated in the PUD Development Standards. Specifically, the City Ordinance requires a minimum building and parking setback from any exterior PUD property line or abutting street to be 40 feet. The applicant has requested, and indicated on the submitted

plans, a minimum setback of 20 ft. for building and parking setbacks from the exterior PUD property line.

City staff has reviewed the requested setback variance request and are comfortable with the proposed 20 ft. setback versus the 40 ft. setback stated in City Code as the proposed reduced setback will primarily be used along the Somerwood Drive roadway corridor and this will allow for the housing product type to be developed at the minimum required density.

Hebeisen asked the distance on each of the 5 parcels that would not be able to meet the 40 foot setback. Braaten gave exact distances based on the plan set included in the packet materials.

**VARIANCE REVIEW CRITERIA:**

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.”

So a city evaluating a variance application should make findings as to:

Is the variance in *harmony with* the purposes and intent of the ordinance?

Is the variance *consistent with* the *comprehensive plan*?

Does the proposal put property to use in a *reasonable manner*?

Are there *unique circumstances* to the property not created by the land owner?

Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

The notices were published in the WACONIA PATRIOT on February 18<sup>th</sup>, 2016 and posted at Waconia City Hall. Individual notices were mailed to all property owners within 350 feet of the subject parcel. As of the date and time of this report the City has not received any comments regarding the proposed Interlaken 8<sup>th</sup> Addition/Stonegate residential development.

No comments were received.

Braaten indicated that he had one revision to the staff report. The road width of 34 ft. me City Ordinance requirements to allow parking on both sides of the proposed roadways and therefore Condition #12, which stated parking would only be allowed on one side of the roadways, should be removed as a recommended condition of approval.

Hebeisen asked to see the parkland that was dedicated previously, which fulfills the park dedication requirement for this application. Braaten reconfirmed that the City Ordinance requires at least 10% of the gross land in a subdivision shall be dedicated for parks, schools, playgrounds and open space. The subject parcel was originally platted in association with the Plowshares Development, LLC Interlaken Development and all public land and open space dedication requirements have been met as part of the afore-mentioned development and therefore no land or public space dedication shall be required as part of this application. Further, Braaten indicated the location of Interlaken Park.

Terry Hartman, Hartman Communities, explained the importance of screening, doubling the number of trees required and berms. The development is compliant with all the sidewalks and trails.

Vilmain inquired about two outlot areas indicated to remain undeveloped. Hartman stated that the outlots will be maintained by the association.

Blanchfiled opened the Public Hearing.

Dave Kuffel, resident of Waconia, asked about the style of the homes and who the builder might be. Hartman stated that the builder will be Ryland Homes and the house style will be similar to what they are building in the Interlaken additions only smaller. Mr. Kuffel's concerns also included the water runoff from these homes. Braaten reassured Kuffel that the development would be reviewed by the Carver County Water Management to make sure the development is adequately addressing any storm water concerns.

Motion by Osmundson, second by Hebeisen to close the Public Hearing. All in favor voted aye. MOTION CARRIED.

Motion by Hebeisen, second by Osmundson to approve the proposed Zoning Map Amendment to rezone the subject parcel from R-3, Medium Density Residential District to PUD, Planned Unit Development District. All in favor vote aye. MOTION CARRIED.

Motion by Meisch, second by Vilmain to approve the proposed Variance Application to the PUD Development Standards to allow building and parking to be setback a minimum of 20 ft. from any exterior PUD property line or abutting street versus the 40 ft. minimum required by Ordinance. All in favor voted aye. MOTION CARRIED.

Motion by Osmundson, second by Hebeisen to approve the proposed Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat Application for the development of 51 small lot, single family parcels for the property located at 1150 Somerwood Drive with the following recommendations excluding number 12.

1. The Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The applicant shall obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management. A copy of any approvals or permits shall be submitted prior to any land disturbing activities.
4. The applicant shall obtain a General Construction Stormwater Permit (NPDES) from the Minnesota Pollution Control Agency and submit a copy to the City prior to any land disturbing activities.
5. All indirect costs related to the permitting, review, and plans associated with engineering and administrative costs shall be paid by the applicant/owner.
6. The City shall provide the necessary street signage. The applicant shall provide the necessary escrow funds to cover all street signage and installation costs.
7. The applicant shall provide a copy of the approved Carver County Trail Permit.
8. The plans shall conform to the staff review memo dated February 16<sup>th</sup>, 2016 and the Bolton and Menk memo dated February 26<sup>th</sup>, 2016.

9. The watermain, sanitary sewer, grading, and stormwater issues shall be resolved to the satisfaction of the City Engineer and Public Services Director prior to the issuance of the building permit for the Interlaken 8<sup>th</sup> Addition/Stonegate development.
10. Compliance with applicable items contained in Chapter 1000 of the City of Waconia Subdivision Ordinance.
11. Execution of a Developer's Agreement for the Final Plat.
12. Parking shall only be allowed on one side of the street. The other side of the street shall be signed no parking accordingly to allow emergency vehicle access.
13. The applicant shall file an application of final plat approval within six (6) months following the approval of the Interlaken 8<sup>th</sup> Addition/Stonegate Preliminary Plat, unless an extension of time is requested in writing by the subdivider and granted by the Council prior to the six (6) month expiration date.

All in favor voted aye. MOTION CARRIED.

Final action for City Council approval on March 21, 2106.

**PUBLIC HEARING: VARIANCE REQUEST BY BEN AND LAUREN MCQUILLAN TO EXCEED THE MAXIMUM IMPERVIOUS SURFACE ALLOWED IN THE SHORELAND OVERLAY DISTRICT AND TO ALLOW FOR REDUCED SIDE YARD AND REAR YARD SETBACKS FOR CONSTRUCTION OF A DETACHED GARAGE AND DRIVEWAY ON THE PROPERTY LOCATED AT 425 LAKE STREET WEST.**

The City received a Variance Application from Ben and Lauren McQuillan (the "applicants") to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage on the property located at 425 Lake Street West. Perera showed the Commission members the location of the address in the northwest portion of the community. This property is just south of Cedar Point Park and east of Bayview Elementary School.

The property is currently a legal non-conforming lot since it exceeds the maximum impervious surface area (ISA) allowed and the existing accessory structure (detached garage) does not meet the minimum setback requirements allowed per City Ordinance.

The applicants are requesting approval of two variances:

- 1) To exceed the 25 percent maximum impervious surface area allowed in the Shoreland Overlay District; and
- 2) To allow an accessory structure (detached garage) and driveway to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley.

Perera pointed out that the existing garage located in the southeast corner of the property will be demolished. Perera stated that there is also a significant amount of hard cover that they will be removing as well. A revised survey was shown giving location of the existing garage, proposed garage and hard surface coverage on the property. Perera displayed several pictures for the Commissioners to familiarize them with the project being presented.

**VARIANCE ANALYSIS:**

**Accessory Structure Requirements:**

**Minimum Setback Requirements:**

Front Yard Setback (north side) = 25 ft.

Side Yard Setback (west & east sides) = 10 ft.

Rear Yard Setback (south side) = 10 ft.

Alley Setback (south side) = 10 ft.

**Variance # 1 (setbacks)** - The proposed structure will be placed in the southwest corner of the property and will NOT comply with the minimum setback requirements. According to the certificate of survey dated 02/25/16, the proposed accessory structure will have reduced setbacks of 2 ft. from the west/side lot line and 4 ft. from the south/rear lot line and alley. There are no drainage and utility easements located on the property to be concerned with.

**Aggregate Coverage:**

Maximum Hardcover Surface Area: 25% (Shoreland Overlay District)

Maximum Total Floor Area of all Accessory Structures: No more than 1,000 sq. ft. based on a lot size less than 10,500.

Existing Hardcover/Impervious Surface Area = 2,296 sq. ft. & 33.91% of the lot

Proposed Hardcover/Impervious Surface Area = 2,587 sq. ft. & 29.98% of the lot

**Variance # 2 (hardcover/impervious surface area)** - The existing accessory structure (detached garage) is proposed to be demolished and replaced with a new accessory structure (detached garage) and other site improvements (guest parking on grass pavers in the south east corner of the property) that will result in NOT complying with the 25% maximum hardcover surface area allowed. The proposed garage is an "L" shaped garage and is approximately 776 sq. ft.

**Height Limitation:** No accessory structure detached from the principal structure shall exceed 20 ft. in height.

- The proposed height of the detached garage is 17 ft.

**Location Limitation:** Accessory structures, detached from the principal structure shall not be located in any front or side yard, except that a detached garage may be located in a side yard if it meets required setbacks.

- The proposed detached garage will be located in the southwest corner of the property and in the rear yard.

**Access:** Any accessory structure in excess of 144 sq. ft. that is detached from the principal structure shall provide driveway access to a public street. Any such driveway shall: 1) be no less than 10 ft. wide and made from a bituminous, concrete or other driveway surface approved by the City; 2) not closer than the required setbacks for such structure to any property line at any given point; and 3) screened or landscaped from neighboring structures as required by the City, in its discretion, if such structure is located in a side yard.

**Driveway Requirements:**

City Ordinance Section 900.09, Subd. 3.A. states: "No curb cut access shall be located less than 30 feet from the intersection of 2 or more street rights-of-way. The distance shall be measured from the intersection of lot lines. The City may require greater distances if future traffic conditions warrant. Such greater distances shall be required subject to approval by the City Council." This section also states: "Curb cut openings shall be a minimum of 5 ft. from the side yard property line in all districts." City Ordinance Section 900.09, Subd. 3, B. states: "Single-family uses shall be limited to one curb cut access per property."

- According to the certificate of survey dated 02/25/16, the driveway will be concrete and will be setback 2 ft. from the west side lot line of the property and will NOT

comply with the 5 ft. setback requirement from the side lot line as required by City Ordinance (Variance # 1). The proposed driveway will also be 26 ft. wide (the length of the garage), 4 ft. deep and abut the south/rear lot line of the property and alley.

**Proposed Design & Architecture:**

The City Ordinance does not have architectural design requirements or regulations within the Residential or Shoreland Overlay Districts although the applicants have indicated that the design of the proposed accessory structure (detached garage) will be traditional and consistent with the principal structure (house). The applicants have also indicated that last year they installed new siding on the house (LP Smart Side, dark blue, 7 inch lap) and several new windows and that the garage will be finished to match. The roof will be finished with gray architectural asphalt shingles. The house currently has green shingles but the applicants intend to re-shingle the house in 2017 to match the garage. An architectural/designer garage door will also be installed, and will be cedar tone in color to enhance the visual appeal from the alley (and south side of the garage and south/rear lot line of the property). The detached garage will also have windows on the north, west, and east sides of the structure, and a service door on the east side.

**PUBLIC NOTICE/COMMENT:**

The notice was published in the WACONIA PATRIOT on February 18, 2016 and posted at Waconia City Hall. Individual notices were mailed to property owners within 350 feet of the subject parcel. The City has received no comments from the public as of 2/26/16.

MNDNR - was notified. No requirements but they would suggest including permeable pavers or extra plantings to mitigate storm water runoff.

CCWMO - was notified. No requirements – potential for cost share program if installing permeable pavers, rain gardens, etc. (for storm water treatment practices.)

At this time, City Code does not allow a credit option for the use of permeable pavers or other alternative stormwater improvements however, recent variance applications have incorporated permeable pavers with projects that have resulted in a 25% to 50% credit when calculating impervious surface areas for sites that have had an adequate outlet for storm water drainage. The proposed plan does not have a suitable outlet and therefore no credit is being recommended. The topography of the area makes an outlet difficult. Reuse or irrigation could be considered which would result in a partial credit.

The proposed 4 ft. setback to the south (towards the alley) is not recommended. Assuming the garage doors face south the turning movement from a 16 ft. wide alley into the garage is problematic. Also, the alley snow removal operations would push snow either into the garage or up against the garage door. The 10 ft. setback width should be maintained or the site should be modified for the garage doors to face to the east.

**Conditions for Consideration:**

- 1) The garage shall be constructed as proposed on the certificate of survey and as conditionally revised by the Planning Commission and City Council.
- 2) All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
- 3) The applicant shall be required to incorporate reuse or irrigation with the design of this project.
- 4) For maintenance purposes the proposed hard surface shall be not consist of gravel or aggregate.

- 5) The certificate of survey shall be required to be updated to include the front porch patio or deck and a note should also be made to indicate the impervious/hardcover calculations of said improvements if applicable.
- 6) The windows and service door on the detached garage shall be required to match or be consistent with the principal structure (house).
- 7) The garage structure shall be setback a minimum of 10 ft. from the rear lot line/alley per the recommendation of the City Engineer.

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

- 1) Is the variance in *harmony with* the purposes and intent of the ordinance?
- 2) Is the variance *consistent with the comprehensive plan*?
- 3) Does the proposal put property to use in a *reasonable manner*?
- 4) Are there *unique circumstances* to the property not created by the landowner?
- 5) Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

Perera displayed an image of the characteristics of the neighborhood showing the existing garages. Other garages in the neighborhood were larger than the applicants and the new garage would fit in the neighborhood. Perera talked about the width of the alley and vehicle turning movements.

Osmundson asked about the pad next to the garage and also wondered if the existing concrete was still being removed or just replaced. Perera stated that it will be removed, but replaced with 213 square feet of new sidewalk.

Meisch asked about the permeable pavers- Perera mentioned that the Public Works Director is working on an ordinance amendment for permeable pavers.

Comments from property owners Ben and Lauren McQuillan:

- Their goal is to utilize the green area of the back yard.
- They feel that snow removal will not be an issue.
- Backing out into the alley shouldn't be a problem.
- Parking spaces and the side pad will be concrete.
- They will be investing in rain gutters and rain barrels instead of putting in permeable pavers.
- Conversation about Azek Permeable stone Pavers and NDS Tufftrack.
- A question from the Commissioners regarding the property to the west being in agreement with the garages right next to one another-McQuillan stated that they have not had a chance to communicate the new garage to this neighbor. It's important to them to keep the existing relationships they have with the neighboring property owners.
- being able to build this garage is an insurance for them to be long term residence of Waconia

Perera stated that Public Services may have concerns with the new garage being so close to the alley causing problems for snow removal. Also the maneuvering in and out of the garage onto the alley is a safety issue.

Osmundson asked about the garage size. The garage is a two stall, but with it being L shaped, it will fit three vehicles.

The home owner went from a 1 foot setback to a 4 foot setback which will make the snow removal easier.

Blanchfield opened the Public Hearing.

Comments from Jonathan Bartlett, 417 West Lake Street.

- He gave an overview of the characteristics of the neighborhood.
- Bartlett stated that this variance request does comply with the criteria.
- No problem backing out onto the alley.
- Bartlett spoke of garbage trucks using the alley for the garbage pickup
- He asked about the rain barrel and water runoff.

Braaten reminded the Commission that the City would not be responsible for the rain barrels unless it was a requirement/condition of approval for the request.

Motion by Meisch, second by Osmundson to close the Public Hearing. All in favor voted aye. MOTION CARRIED.

Further discussion by the Commission took place regarding storm water management, the neighboring property to the west and turning radius.

Motion by Osmundson, second by Vilmain to Table the Variance request by Ben and Lauren McQuillan until the April 7, 2106 Planning Commission to allow time for the applicant and staff to determine the following:

- Staff rewording water containments which is item number 3 in the existing conditions.
- An attempt to contact the neighbor to the west regarding the new garage.
- Opportunity for the City Engineer to come back with a response regarding the turning radius with a 4 foot setback instead of a 1 foot setback.
- Remove item number 5 from the existing conditions.

All in favor voted aye. MOTION CARRIED.

### LAND USE SUMMARY

Braaten gave an overview of the 2015 Land Use Summary.

Braaten displayed the number of permits issued within a 5 year span. This year, 2015, shows a significant increase in the construction valuation compared to previous years because of the larger projects in 2015 (projects such as the Ridgeview Professional expansion and Laketown Elementary School). Braaten also indicated the number of new homes constructed in a 5 year span comparison with the number of townhomes.

The 2015 Residential Growth areas include:

Interlaken Residential Development – 44 New Homes Constructed in 2015

Crosswind Residential Development – 27 New Homes Constructed in 2015  
Waterford Residential Development – 21 New Homes Constructed in 2015  
Other Residential Growth Areas – 8 New Homes Constructed in 2015

Somerwood Cottages was the only new Plat submitted for 2015 which consists of 42 single family detached townhomes.

The single family residential lot availability-

-Somerwood Cottages	42 parcels
-Interlaken Development	33 parcels
-Crosswinds	26 parcels
-Waterford	10 parcels
-Legacy Village	7 parcels
-Windmill Creek	7 parcels
-Other	9 parcels.

Commercial Permit Activity	47 permits
Industrial Permit Activity	4 permits
Institution Permit Activity	26 permits
Public Permit Activity	11 permits

There being no further business, motion by Hebeisen to adjourn at 8:30pm seconded by Osmundson. All present voted aye. MOTION CARRIED.

Respectfully submitted,



Brenda Wurst  
Recording Secretary

Thursday, March 03, 2016

# WACONIA PLANNING COMMISSION MEETING

PLEASE SIGN IN

NAME	ADDRESS
1. Ben McQuillan	425 W LAKE
2. Lauren McQuillan	425 W. LAKE ST.
3. Terry HARTMAN	1750 TOWER BLVD, VICTORIA
4. Jonathan Bartlett	417 W. LAKE ST
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## REQUEST FOR PLANNING COMMISSION ACTION

<b>Meeting Date:</b>	April 7 <sup>th</sup> , 2016
<b>Item Name:</b>	SITE PLAN and DESIGN REVIEW: Request by Jack Fiedler and Laura Menser for a proposed dental office for the property located at 732 Vista Blvd.
<b>Originating Department:</b>	Planning and Zoning
<b>Presented by:</b>	Angie Perera, Assistant Planner

**Previous Council Action (if any):**

<b>Item Type (X only one):</b>	Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session	
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**RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED** (Include motion in proper format.)

**Provide recommendation to City Council regarding Site Plan and Design Review for a proposed dental office for the property located at 732 Vista Blvd.**

**EXPLANATION OF AGENDA ITEM** (Include a description of background, benefits, and recommendations.)

### **BACKGROUND**

**Applicants:** Jack Fiedler, DDS and Laura Menser, DDS

**Owner:** Jack Fiedler, DDS and Laura Menser, DDS

**Address:** 732 Vista Blvd.

**PID#** 753131010

**Zoning:** B-1, Highway Business District

**Comprehensive Plan Designation:** C, Commercial

**Design District:** Highway District

### **REQUEST**

Jack Fielder and Laura Menser, the property owners and applicants, have submitted an application for Site Plan and Design Review for the property located at 732 Vista Blvd. (PID# 753131010). They are proposing the construction of a 6,373 sq. ft. (gross floor area) dental office professional building on the subject parcel.

### **APPLICABLE ORDINANCE PROVISIONS:**

1. Section 900.05 – District Regulations, Subd. 2.F – B-1, Highway Business District
2. Section 900.06 – Supplementary Regulations, Subd. 9 – Architectural Design Standards
3. Section 900.07 – Landscaping and Fencing
4. Section 900.08 – Performance Standards
5. Section 900.09 – Off-Street Parking, Loading, and Access Regulations
6. Section 900.10 – Sign Regulations
7. Section 900.12 - Administration, Enforcement and Procedures, Subd. 10 - Site Plan Review

### **SITE PLAN REVIEW**

City Ordinance requires Site Plan Review “in order to further promote the safe and efficient use of land and to further enhance the value of property in the City.” City Ordinance requires Site Plan Review for any construction for which a building permit is required, except for construction of detached, single-family residential structures or structures accessory thereto.

## EXISTING USE & LOCATION

The undeveloped 39,204 sq. ft. parcel was platted as part of the ‘Legacy Village At Waconia’ development, which was approved by the City of Waconia on June 19<sup>th</sup>, 2006. The plat includes eight parcels which are zoned as ‘B-1, Highway Business District’ and are located on the north side of the intersection of MN HWY 5 and CR 59 (aka: Main Street). To date, three of the eight parcels within the plat have been developed including: the ‘Kwik Trip’ gas station and ‘Lady Bug’ daycare, both of which are located on the east side of CR 59, and the ‘Retail Shops at Legacy Village’ which is located on the west side of CR 59. For reference, the subject parcel is located at the northwest corner of the intersection of MN HWY 5 and CR59 and is currently an un-improved parcel immediately south of the ‘Retail Shops at Legacy Village’.

## ZONING

The subject parcel is zoned B-1, Highway Business District. The proposed dental office use is a permitted use in the B-1 zoning district.

## LOT REQUIREMENTS

The subject property is located in the B-1, Highway Business District. Section 900.05, Subd. 2.F of the City Ordinance states *“The purpose of this district is to provide for an appropriate range of businesses that will be utilized by area residents as well as vehicular traffic generated from the surrounding area.”* The Lot Requirements for the Highway Business District are indicated in Table 1-1 below.

**Table 1-1.**

	B-1, Zoning District – Lot Requirements
Lot Area	17,500 sq. ft. minimum
Lot Width	100 ft. minimum
Maximum Hardcover Surface	80% maximum
Maximum Structure Height	35 ft. maximum
Front Yard Setback	25 ft. minimum
Side Yard Setback – Street	20 ft. minimum
Side Yard Setback – Interior	15 ft. minimum*
Rear Yard Setback	20 ft. minimum

\* 35 ft. if adjacent to residential district

The structure setbacks, building height, and hardcover surface requirements stated above have been satisfied based on a review of the Site Plans (sheets C1 and C2) prepared by Plowe Engineering, Inc. dated 3/29/16 and the Architectural Plans (sheets A 2.0, A 2.1, A 2.2, and A2.3) prepared by Strapko Pahl dated 3/3/16.

## SCREENING OF EQUIPMENT

The applicant has indicated that rooftop units will be proposed and the exact locations will be completed with the construction documents (through the building permit application process). The proposed parapets of the architectural design of the building will provide screening for these units.

## OFF-STREET PARKING

The proposed dental office complies with the design requirements and number of parking spaces required by City Code. The proposed project requires 32 off-street parking spaces and 34 spaces are being proposed (including two ADA spaces). The Site Plan includes the proposal of 19 parking spaces on the west side of the building and 15 on the north side.

## LANDSCAPING

City Code requires 26 trees for the proposed project based on the ordinance language below. The proposed landscaping included on the Landscape Plans (sheet L1) prepared by Plowe Engineering, Inc. as revised (revised date should be 3/29/16 although it was not included on the revised plans, original date was 3/3/16) comply with the City Code requirements. The proposed landscape plans include two existing trees and 24 new trees: 6 Autumn Maple Blaze (deciduous trees), 9 Swamp White Oak (deciduous trees), and 9 Black Hill Spruce (coniferous trees). The proposed and existing trees are 65% deciduous and 35% are coniferous.

- a. Architectural Design Standards – City Code Section 900.06, Subd. 9, E., subpart 15.b.3) states: “One tree shall be provided for each 25 linear feet of parking lot frontage on a public street or accessway.”
  - a. Staff calculated the 25 linear feet using the length of the 15 parking spaces along the north lot line north lot line (135 ft. / 25 ft. = 5.4 or 6 trees)
- b. Landscaping and Fencing – City Code Section 900.07, Subd. B., subpart 1. states: “One (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.”
  - a. The site perimeter is greater, requiring 16 trees (site perimeter = 781.55 ft. / 50 ft. = 15.63 or 16 trees)
- c. Landscaping and Fencing - City Code Section 900.07, Subd. B., subpart 7. states: “Additional plantings shall be required for properties fronting State Highway # 5. The following will be required for every 40 ft. of frontage along Highway # 5.”
  - a. a. One (1) three inch (3”) minimum deciduous tree. Or, One (1) eight foot (8’) minimum coniferous tree.
  - b. Staff used 148.96 ft. of the south lot line (the portion fronting HWY 5) for determining this criteria as follows: 148.96 ft. / 40 ft. = 3.724 or 4 trees. All 4 trees must meet the caliper inch or height requirement as required.
- d. Landscaping and Fencing - City Code Section 900.07, Subd. 2, G. subpart 3. states the following: “The complement of trees fulfilling the requirements of this policy shall be not less than 25% deciduous and not less than 33% coniferous.”

*Staff would like to make note that the legend on the aforementioned landscape plans (sheet L1) is not consistent with the label noted for the one, 3” Swamp White Oak tree that is proposed in the southwest corner of the property. Staff would recommend a condition of Site Plan approval, that at least one of the proposed trees meet the 3” caliper inch requirement (for one of the deciduous trees) or else one of the proposed trees will meet the 8’ height requirement (for one coniferous tree).*

## **PARKLAND DEDICATION**

The parkland dedication has already been fulfilled for this site through previous approvals of the ‘Legacy Village At Waconia’ development plat which included Outlot E (the park/playground north of Vista Blvd.) and Outlot G (Vista Point Park – the pond area north of Beach Rd.).

## **SIGNS**

The applicant has not submitted any signage details with regard to the proposed Site Plan improvements. The applicant is aware that any future signage shall require the submittal, review and approval of a sign permit through the City and will require conformance to the City Sign Ordinance and the City’s Design Standards.

## **LIGHTING**

The Photometric Plans (sheet SL1) prepared by Architectural Lighting Design, Inc. dated 3/3/16 comply with City Code Section 900.08, Subd. 1.C, which provides regulations for the Performance Standards for exterior lighting. The proposed plans include three, 25 ft. tall, light poles (one on the north side of the building and the other two on the west side of the parking lot), and 20 inch square medallions with up/down wall wash LED light fixtures mounted

to the exterior walls of the building (on the south, west, and east sides of the building primarily above some of the windows and service doors).

### **VEHICULAR ACCESS**

The 'Legacy Village At Waconia' plat was designed and approved with one vehicular access via Vista Blvd. off of CR 59. The Vista Blvd. road system was designed to be private streets providing access to each of the parcels and this application is consistent with the previous site plan approval for the 'Retail Shops at Legacy Village' (located to the north of the subject property at 712 Vista Blvd.). *A conditional of approval for this Site Plan shall require a cross access easement/agreement between the properties of 712 and 732 Vista Blvd. if one does not already exist. The applicant shall be required to verify and provide recorded documentation for this condition.*

### **LOADING/DELIVERY DOCK**

The applicant is not proposing a loading and/or delivery dock as part of this application and City staff also does not deem a loading berth/dock as being appropriate for the existing development based on the proposed use of this building. The applicant has indicated that expected deliveries to the proposed dental office building will be infrequent, not on a daily basis, and will be hand carried to the front door by the UPS, FedEx or other delivery person. The size and frequency of deliveries do not lend to the need for a loading berth/dock. Therefore, the applicant is requesting that the City consider the proposed dental office as an "other use" and not be required to provide a loading berth/dock.

City Code Section 900.09, Subd. 2 "Loading Regulations" includes the specific regulations pertaining to loading docks/berths. Subpart 7. states: "Loading berths required:"

- a. Commercial and Industrial: All buildings shall have at least one off-street loading berth. Buildings which are 10,000 square feet or more, shall have at least 2 loading berths.
- b. Other uses: uses not mentioned shall be determined on an individual basis by the City Council. Factors to be considered in such determinations shall include (without limitation) size of buildings, type of use, number of employees, expected volume and turnover of customer traffic and expected frequency and number of delivery or service vehicles."

### **PEDESTRIAN ACCESS**

The applicant is proposing to install a 6' concrete sidewalk on the west and north sides of the building. The sidewalk on the north side of the building will continue to the west side of the lot and include a pedestrian crosswalk segment across the west parking lot and another concrete sidewalk segment in the northwest portion of the lot that will allow for future pedestrian connectivity as the parcels to the north and west develop in the future. Future development of the parcels to the north and west will require sidewalk sections to be installed along the west side of Vista Blvd. at the time of development.

### **TRASH**

City Ordinance requires *"All trash and trash handling equipment to be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure."*

A 10' x 7' trash enclosure is being proposed near the west parking lot and southwest of the building. The exterior building materials will match the EIFS material and color(s) of the proposed dental office building. The detailed plans are included on the Site Plan on sheet A2.3, as prepared by Strapko Pahl and dated 3/3/16. The property owner shall be required to use said trash enclosure for storage of all trash and trash handling equipment, except for any internally stored trash receptacles. The trash enclosure is consistent with the regulations of the City Ordinance.

### **GRADING, DRAINAGE & UTILITIES**

The watermain, sanitary sewer, grading, and stormwater issues have been reviewed by the City Engineer and Public Services Director and their comments are reflected in the recommended conditions of approval for the Site Plan. The site will be connected to existing water, storm, and sanitary sewer stubs. A 10' wide drainage and utility (D&U) easement is being proposed along the west, south, and east sides of the lot lines along with a 20' D&U easement along the north lot line (to include a gas line). Two fire hydrants are being proposed for this site, one in the northwest corner, and the second in the northeast corner of the property. The Fire Chief has also reviewed the Site Plans and is comfortable with the general layout as proposed.

### **DESIGN REVIEW – HIGHWAY DISTRICT**

City Ordinance requires Design Review with the understanding that “*the visual character and historic resources of the City are important attributes of its quality of life.*” City Ordinance requires Design Review to be conducted as part of the Site Plan Review process.

#### **BUILDING CHARACTER**

*Objective:* It is understood that the City's Highway Commercial District and Health Care Business District generally lack traditional buildings that provide a "context" or frame of reference for new buildings. The intent of this section is to encourage buildings with a human scale, which evoke traditional buildings without imitating them, and to create a pedestrian-friendly internal site layout and streetscape.

#### **ARCHITECTURAL STYLE**

*Objective:* To encourage creativity and diversity within a defined framework.

To encourage the adaptation of historic commercial styles in a restrained and appropriate manner.

*Standard:* No single architectural style or styles are required. The Design Vocabulary is intended to guide in the selection of an overall style or stylistic elements. The contemporary adaptation of elements of historic commercial architectural styles found in downtown Waconia, including Italianate, Neoclassical and Early Twentieth Century Commercial, is encouraged. If a particular style is used, it should be used consistently. The combination of elements of a variety of styles in one building is discouraged.

*Design Response:* *The proposed architectural style is consistent with the ‘Retail Shops At Legacy Village’ building to the north of the subject property, which conforms to the Highway District architectural standards.*

#### **BUILDING PLACEMENT**

*Objectives:* To encourage pedestrian circulation by maintaining a moderate distance among buildings on the site, and between buildings and abutting streets.

To encourage shared parking among uses.

*Standards:* Buildings should be located to facilitate pedestrian circulation. Distances between principal buildings, or between the most distant entrances of a single building, should not exceed 300 feet. This standard can be achieved through the arrangement of freestanding buildings in compact groups, the design of single buildings in an "L" or "T" shape, or similar strategies.

Building entrances should be located as close to abutting streets as possible, and no further than 85 feet from the street right-of-way. This standard may be achieved through the creation of one or more public or private internal streets within a large site. (See Figures 15 and 16; see also Parking and Pedestrian Circulation standards.)

*Design Response:* *Due to building placement the site encourages pedestrian circulation in a number of different ways. The proposed location of the concrete sidewalks allow close proximity and access from the two proposed parking lots. The project also includes a continued sidewalk section for future connectivity as parcels develop to the north and west of the subject property, within close proximity to the existing building to the north of the subject property. The proposed site is in compliance with the Building Placement section of the Highway District Design Standards.*

## BUILDING WIDTH and FAÇADE ARTICULATION

*Objectives:* To articulate long or massive building facades in order to reduce their perceived bulk and provide visual interest as viewed from the street or sidewalk.

To ensure that all facades visible to the public shall be visually attractive and compatible with adjacent land uses.

*Standard:* Buildings of more than 40 feet in width shall be divided into smaller increments through articulation of the façade. This can be achieved through combinations of the following techniques, and others that may meet the objective.

- Façade modulation -- stepping back or extending forward a portion of the façade
- Vertical divisions using different textures or materials (although materials should be drawn from a common palette)
- Division into storefronts, with separate display windows and entrances
- Variation in roof lines by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval
- Arcades, awnings, window bays, arched windows and balconies at intervals equal to the articulation interval
- Providing a lighting fixture, trellis, tree, or other landscape feature with each interval

***Design Response:*** *The footprint of the proposed building is unique in that it is not a typical rectangular or square shaped building since both the northwest and southeast corners of the building are curved. As a result, the walls include various building widths due to the design of the footprint of the proposed building.*

*In response to the Building Width and Façade Articulation Design Standard the proposed building is located in the southeast corner of the lot; therefore the north and northwest sides of the building are prominently the front façade of the building. The applicant has used façade modulation, breaking up the front façade and all other facades of the building into two or more separate sections, all sections vary between 37 ft. to 69 ft. in width. The proposed design also includes vertical divisions of materials including EIFS and manufactured stone veneer, variation in the rooflines with the different building heights of 17'6" to 22'8", and parapets along the entire roofline and perimeter of the building. This design is consistent with the 'Retail Shops At Legacy Village' building constructed to the north of the subject property and is in compliance with this section of the Highway District Design Standards.*

## SCALE, PROPORTION and PLACEMENT

*Objective:* To encourage building elements that are proportionately scaled to one another.

*Standard:* In general building elements such as windows, doors, arcades, towers, etc. should be arranged symmetrically across the façade, in a regular and logical manner. Window and door openings should be proportional to façade length and height. Large elements (i.e. clock tower) may be appropriate, but there should be an emphasis on maintaining a human scale at the ground level (see Figure 17).

***Design Response:*** *The building elevations shown in the plan set on pages A2.0, A2.1, and A2.2 indicate a building consistent in scale with the neighboring property to the north. Further, the building elements are arranged symmetrically across the front, rear and side facades and the windows are proportional as required by the standard.*

## GROUND-FLOOR WINDOWS

*Objective:* To allow views into and out of buildings in order to increase a sense of security and allow opportunities for display of merchandise.

*Standards:* The primary street level façade of large retail or office establishments (over 25,000 square feet) that faces a public street or walkway shall be transparent between the height of 3 and 8 feet above sidewalk grade for at least 40 percent of the horizontal length of the building façade.

The primary street level façade of smaller retail or office establishments (25,000 square feet or less) shall be transparent for at least 50 percent of the horizontal length of the building façade, between the height of 3 and 8 feet above sidewalk grade, at minimum.

**Design Response:** *The Site Plans do not appear to include this information therefore the applicant shall be required to submit documentation to City staff for review and approval and complying with these requirements.*

### ENTRIES

**Objective:** To ensure that entries contribute to the visual attractiveness of the building and are readily visible to the customer.

**Standards:** Entries to principal buildings shall feature at least two of the following features:

1. Canopy, portico, overhang, arcade or arch above the entrance
2. Recesses or projections in the building façade surrounding the entrance
3. Peaked roof or raised parapet over the door
4. Display windows surrounding the entrance
5. Architectural detailing such as tile work or ornamental moldings
6. Permanent planters or window boxes for landscaping

Primary building entrances shall face the primary abutting public street, not a side or rear parking area.

**Design Response:** *The plans are compliant with the Entries Design Standard as they incorporate the use of two or more of the features listed within the standards including: an entrance canopy/arch above the entrance door, recesses and projections on all facades of the building and, a raised parapet along the entire roofline around the perimeter of the building.*

### BUILDING MATERIALS

**Objective:** To ensure that high-quality, authentic materials that evoke traditional downtown settings are used in new commercial development.

**Standard:** Buildings should be constructed of high-quality materials such as brick, stone or textured, cast stone or tinted masonry units. The following materials are prohibited:

- Unadorned plain or painted concrete block
- Tilt-up concrete panels
- Pre-fabricated steel or sheet metal panels
- Reflective glass
- Aluminum, vinyl, fiberglass, asphalt or fiberboard siding
- Wood siding

Accent materials may be used on up to 15% of the building's façade. These may include metal, glass block, spandrel glass or similar materials as approved by the Planning Commission.

**Other Materials:** The Planning Commission may also approve other materials that the Planning Commission, in its discretion, determines are compatible with any permitted materials if it finds that: 1) the quality and appearance of the proposed materials is consistent with the standard that has been set within the Highway District; and 2) the use of these materials will not have a detrimental effect upon adjacent property values or property values within the City.

**Design Response:** *The proposed building materials are in compliance with the Highway District Design Standards. The Exterior Material & Finish Schedule will include EIFS and manufactured stone veneer. The proposed colors are noted as "to be selected" on sheet A2.0 of the Site Plan submittal documents. The applicant*

has indicated that sample colors of each exterior finish material are presently being made and will be available to view at the Planning Commission and City Council meetings.

### SIDE and REAR TREATMENTS

*Objective:* To ensure continuity of materials and façade treatments on all visible facades.

*Standard:* All building facades visible from a public street or walkway shall employ materials and design features similar to those of the front façade.

***Design Response:*** The applicant has included consistent design materials and façade treatments on all four sides of the proposed building, which is consistent with the Side and Rear Treatments Design Standard.

### BUILDING COLORS

*Objective:* To ensure that building colors are aesthetically pleasing and compatible with surrounding buildings.

*Standard:* Building colors shall consist of subtle, neutral or muted colors, with low reflectance. Recommended colors include browns, grays, tans (including the typical "Chaska brick" used in Waconia), beiges, and dark or muted greens, blues and reds. No more than two principal colors may be used on a façade. Bright, white or primary colors should be used only as accents, occupying a maximum of 10 percent of building facades.

***Design Response:*** Staff has requested the applicant provide the color scheme for the building. The building and material colors should be provided prior to the meeting on April 7<sup>th</sup>, 2016.

### SIGNS

*Regulations:* Regulations for signs in the Highway Districts shall be as set forth in Section 900.10 of the City Code.

***Design Response:*** The applicant has not proposed any signage as part of this application, but is aware that any future signage shall require a sign permit through the City and the sign details must be consistent with the Sign Ordinance and the Highway District Design Standards.

### PARKING

*Objective:* To improve the appearance and convenience of parking lot circulation for vehicles and pedestrians by breaking the parking area up into smaller units. Parking areas should be distributed around large buildings in order to shorten the distance to other buildings and reduce the overall scale of the paved surface.

*Standard:* No more than 50 percent of the off-street parking area for the entire site shall be located between the front façade of the principal building and the primary abutting street.

Alternatively, one or more internal accessways that are similar to streets may be used to divide the site into parking areas no greater than 55,000 square feet.

- 1) Internal accessways must have at least one auto travel lane, curbs, and sidewalks on both sides at least six (6) feet wide. Accessways must be landscaped along their entire length with trees, shrubs and planting beds.
- 2) On-street parking (angled or parallel) must be provided along both sides of the accessway, except within 75 feet of street intersections. Curb extensions that are at least the full depth of the parking stall shall be provided at all internal and external street intersections, as shown.

***Design Response:*** The Site plan includes two parking lots with 34 total proposed parking spaces. The parking lot on the west includes 19 spaces (or 56% of the total proposed parking spaces). The parking lot on the north side of the building includes 15 spaces (or 44% of the total proposed parking spaces) and complies with the off-street parking regulations and Highway District Design Standards.

### PARKING LOT LANDSCAPING

*Objective:* To soften the appearance of parking lots when viewed from an abutting street or sidewalk.

*Standard:* All parking and loading areas (including drive-through facilities, pump island service areas and stacking spaces) fronting public streets or sidewalks, and all parking and loading areas abutting residential districts or uses, shall provide:

- 1) A landscaped yard at least 5 feet wide along the public street or sidewalk. If a parking area contains over 100 spaces, the minimum required yard shall be increased to 8 feet in width.
- 2) Screening consisting of either a masonry wall, fence, berm or hedge or combination that forms a screen a minimum of 3 feet in height, a maximum of 4-1/2 feet in height, and not less than 50 percent opaque.
- 3) One tree shall be provided for each 25 linear feet of parking lot frontage on a public street or accessway.

***Design Response:*** *The Site Plan indicates that sod will be included around the majority of the perimeter of the site which complies with the landscaped yard requirements. Loading and screening of such are not applicable to this project and other landscaping requirements are already noted in the Landscaping section within the Site Plan section of this report.*

### INTERIOR PARKING LOT LANDSCAPING

The corners of parking lots and all other areas not used for parking or vehicular circulation shall be landscaped with turf grass, native grasses or other perennial flowering plants, vines, shrubs and trees. Such spaces may include architectural features such as benches, kiosks or bicycle parking.

In parking lots containing more than 100 spaces, an additional landscaped area of at least 300 square feet shall be provided for each 12 spaces or fraction thereof, containing one deciduous shade tree. The remainder shall be covered with turf grass, native grasses, perennial flowering plants, vines or shrubs.

***Design Response:*** *The landscaping plans as indicated in the Site Plan one sheet L1 as prepared by Stapko Pahl are in compliance with the requirements of the landscaping regulations and Highway District Design Standards.*

### PLACEMENT and SCREENING OF SERVICE, LOADING and STORAGE AREAS

*Objective:* To mitigate the impacts of views of service and loading areas from surrounding streets and properties.

*Standards:* Any outdoor storage, service or loading area that faces adjacent residential uses or a public street or walkway shall be screened by a decorative fence, wall or screen of plant material at least 6 feet in height, or a planting screen shall be provided parallel to the property line, street or walkway.

Loading docks, truck parking, HVAC equipment, trash collection and other service functions shall be incorporated into the design of the building so that the visual and noise impacts of these functions are fully contained and not visible/audible from adjacent properties and public streets.

Areas for the outdoor storage and sale of merchandise, where permitted, shall be permanently defined and screened with walls or fences, with materials compatible with and of similar quality to primary building materials.

***Design Response:*** *The applicant has indicated that rooftop units will be proposed and the exact locations will be completed with the construction documents (through the building permit application process). The proposed parapets of the architectural design of the building will provide screening for these units. The applicant has not indicated that this project will include any outdoor storage other than the roof top equipment as mentioned and a separate trash enclosure structure. Based on a review of the plans provided all trash collection shall be either internal or brought to the trash enclosure. The applicant is aware that any future outdoor areas used for any of the uses listed above would require screening subject to the Design Standards of the City.*

## LIGHTING

*Objective:* To ensure that lighting levels are not excessively bright and that light standards are compatible with the overall site design.

*Standard:* Exterior lighting should be the minimum necessary for safety and security. Lighting should be designed to coordinate with building architecture and landscaping. Building-mounted fixtures should be compatible with the building facades. Overall lighting levels should be consistent with the character and intensity of the surrounding area. All light fixtures shall be shielded or other directed to ensure that light is not directed onto adjacent properties.

***Design Response:*** *The proposed Lighting is included in the Site Plan review section of this report and is in compliance with the requirements of the City Code.*

## PEDESTRIAN and BICYCLE ACCESS

*Objective:* To ensure that pedestrians and bicyclists have safe and convenient access to all retail establishments.

*Standards:*

- 1) Sidewalks may be required along some or all public streets that abut the proposed development in order to provide pedestrian connections from all adjacent neighborhoods and activity centers.
- 2) A well-defined pedestrian path shall be provided from the sidewalk to each principal customer entrance of a building. Walkways shall be located so that the distance between street and entrance is minimized. Walkways shall be at least 5 feet in width, and shall be distinguished through pavement material from the surrounding parking lot. Walkways shall be landscaped for at least 50 percent of their length with trees, shrubs, and planting beds.
- 3) Sidewalks of at least 8 feet in width shall be provided along all front building facades that abut public parking areas.
- 4) Walkways and sidewalks should be defined by design features such as towers, arcades, porticoes, pedestrian-scale light fixtures, planters, and other architectural elements.
- 5) Bicycle parking shall be provided in a convenient and visible location no farther from the principal entrance than the closest automobile parking space, at a ratio of 1 space per 25 automobile parking spaces. Bicycle parking shall consist of a bike rack designed so that the bicycle frame can be locked to the rack, subject to the review of the City Engineer.

***Design Response:*** *The proposed Pedestrian Access is included in the Site Plan review section of this report and is in compliance with the requirements of the City Code. The proposed plans do not include bicycle parking as listed as a standard requirement within the Architectural Design regulations of the City Code. The Planning Commission may wish to have further discussion regarding this requirement.*

## CONCLUSION / RECOMMENDATION

The Planning Commission should make a recommendation to the City Council regarding the request by Jack Fiedler, DDS and Laura Menser, DDS for Site Plan and Design Review for construction of a new dental office professional building located at 732 Vista Blvd. This item will be forwarded to the City Council for review at their upcoming meeting scheduled for April 18, 2016.

If the Planning Commission chooses to recommend approval of the Site Plan and Design Review request, staff would recommend the approval upon the following conditions:

1. The proposed improvements shall be completed as approved and as conditionally revised by the Planning Commission and the City Council.
2. All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
3. The conditions listed shall be resolved to the satisfaction of the City Engineer, the Public Services Director and the Community Development Director prior to the issuance of the building permit for the dental office.

4. The applicant shall provide the City with a letter of credit to guarantee the proper installation and growth of the approved landscape plan. The letter of credit shall be submitted by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The letter of credit shall be held by the City and must cover one full calendar year subsequent to the installation of said landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.
5. The applicant shall be required to submit documentation to City staff for review and approval, complying with the Ground Floor Window requirements of the Architectural Design Standards included in City Code Section 900.06, Sub. 9, E, subpart 7.
6. The legend on the aforementioned landscape plans (sheet L1) is not consistent with the label noted for the one, 3" Swamp White Oak tree that is proposed in the southwest corner of the property and therefore at least one of the proposed trees will meet the 3" caliper inch requirement (for one of the deciduous trees) or else one of the proposed trees will meet the 8' height requirement (for one coniferous tree).
7. The fire hydrant and valve located in the northeast corner of the site shall be capped at a Tee with a plug at the water main (if relocated as shown). An alternate to this would be to cut back the hydrant line to allow a 90 degree bend and relocate at the east end within the proposed utility easement.
8. All ductile iron pipe, hydrant leads, and fittings shall be required to be wrapped in polyethylene encasement.
9. Sanitary sewer service material shall be SDR 26.
10. A minimum section consisting of 4" of bituminous and 8" of aggregate shall be required for the parking areas due to the heavy clay soils in the area.
11. The applicant shall be required to obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management (or confirmation that none is needed). A copy of any approvals or permits required shall be submitted conditional to Final Site Plan approval.
12. Drainage and Utility easements shall be provided to cover all sewer mains, watermains, and hydrants. Service lines to the building do not require an easement.
13. Record drawings shall be submitted upon completion of the project. Two hard copies and an electronic copy are required.
14. All indirect costs with the building permit, review, and final plans associated with engineering and administrative costs shall be paid by the applicant/owner.
15. A cross access easement/agreement between the properties of 712 and 732 Vista Blvd. shall be required (if one does not already exist). The applicant shall be required to verify and provide recorded documentation for this condition.
16. The Landscape Plans, Sheet L1 (noted as Attachment 10 with this report), prepared by Plowe Engineering, Inc. was originally dated 3/3/16 & was revised, this sheet shall be updated to include the revision date consistent with the applicant's review comments dated 3/29/16 and in response to staff's review comments dated 3/24/16 (1 pages)
17. The plans shall be revised to include bicycle parking consistent with the Pedestrian and Bicycle Access Design Standard.
18. The applicant shall contact the City Planning Department for a final site inspection when all conditions of approval regarding this application have been completed.

**ATTACHMENTS:**

Attachment 1: Location Map (1 page)

Attachment 2: Site Plan and Design Review Application (3 pages)

Attachment 3: Staff Review Comments dated 3/15/16 (3 pages)

Attachment 4: Applicant Review Comments dated 3/17/16, & Staff Review Comments dated 3/14/16 (7 pages)

Attachment 5: Applicant Review Comments dated 3/29/16 (2 pages)

Attachment 6: Site Plan Cover, Sheet C0.0, prepared by Strapko Pahl dated 3/3/196 (1 page)

Attachment 7: Certificate of Survey, prepared by E.G. Rud & Sons, Inc. dated 2/12/16 (1 page)

Attachment 8: Title Sheets, Notes, & Legend, Sheet C1, prepared by Plowe Engineering, Inc. dated 3/29/16 (1 page)  
Attachment 9: Grading, Drainage, & Utility Plan, Sheet C2 and C3, prepared by Plowe Engineering, Inc. dated 3/29/16 (2 pages)  
Attachment 10: Landscape Plans, Sheet L1, prepared by Plowe Engineering, Inc. dated 3/3/16 & revised (1 pages)  
Attachment 11: Site Photometric Plan, Sheet S1, prepared by Architectural Lighting Design, Inc. dated 3/3/16 (1 page)  
Attachment 12: Floor Plan, Sheet A1.0, prepared by Strapko Pahl dated 3/3/196 (1 page)  
Attachment 13: Exterior Elevations, Sheets A2.0, A2.1, and A2.2, prepared by Strapko Pahl dated 3/3/196 (3 pages)  
Attachment 14: Refuse/Recycle Container, Sheet A2.3, prepared by Strapko Pahl dated 3/3/196 (1 page)



## Location Map

732 Vista Blvd. & PID 75.3131010

Site Plan & Design Review  
Application





CITY OF WACONIA  
 201 South Vine Street  
 Waconia, MN 55387  
 Phone: (952) 442-2184 Ext. 2  
 Fax (952) 442-2135  
[www.waconia.org](http://www.waconia.org)

**APPLICANT INFORMATION**

1. Owner's Name: Jack Fiedler, DDS & Laura Menser, DDS
2. Address of Property: 732 Vista Blvd Waconia MN
3. Legal Description: Lot 2, Block 9 Legacy Village at Waconia
4. PID#: 753131010
5. Applicant's Name: Jack Fiedler, DDS & Laura Menser, DDS
6. Mailing Address: ARCHITECT: 4157 Manchaca Ave. Mpls. MN 55406
7. Daytime Phone(s): 612-729-4112 ext 4 Kane Kungj
8. Email Address: KEM@SteadKD.com

\*The City will distribute copies & appropriate information to applicant via email\*

**Site Plan and Design Review Application Fees**

1. Payment of application fee (\$350).
2. Escrow Payment
  - a. 0-5 Acres \$2,500.00 each
  - b. 6-20 Acres \$3,500.00 each
  - c. 21 + Acres \$4,500.00 each
3. Additional consulting review fees may apply, such as civil engineering and legal counsel

**OFFICE USE ONLY**

Date Received: 3/3/16

Fee: \$ 2,850<sup>00</sup>  
 Receipt #: 246714

RETURN TO:

DNA DENTISTRY  
 133 WEST FIRST STREET  
 WACONIA, MN 55397



CITY OF WACONIA  
201 South Vine Street  
Waconia, MN 55387  
Phone: (952) 442-2184 Ext. 2  
Fax (952) 442-2135  
[www.waconia.org](http://www.waconia.org)

### **SITE PLAN AND DESIGN REVIEW REQUIREMENTS**

**THE FOLLOWING INFORMATION MUST BE SUBMITTED  
IN ORDER TO CONSIDER THE APPLICATION COMPLETE**

(Check with Planning Office for specific requirements in each category)

1. Name of Site Plan: JACK FIEDLER, DDS + LAURA MENZER, DDS
2. Present Zoning Classification: B1 - HIGHWAY BUSINESS DISTRICT
3. Existing use of Property: VACANT
4. Payment of application and escrow fees. Additional consulting review fees may apply, such as civil engineering and legal counsel.
5. 1 full size, 8 1/2 x 11, and 1 **Electronic Copy** (include color where possible) survey copies, drawn to scale and dimensioned, with north arrow showing:
  - a. Complete legal description and address of site plan location.
  - b. Lot dimensions.
  - c. All proposed and existing buildings and structures showing setbacks to property lines.
  - d. Yards and space between buildings and property lines.
  - e. Buildings, walls and fences showing height, type of building materials and building elevations for each side of the building.
  - f. Off-street parking showing location, layout, dimensions, circulation, landscaped areas, total number of stalls, surfacing of parking area with cross-section of construction materials, elevation, curb and gutter.
  - g. Access to public streets and trails showing pedestrian and vehicular access points of ingress and egress.
  - h. Outdoor signs showing location, size and height.
  - i. Loading docks showing location, dimensions, number of docks and internal circulation.
  - j. Site lighting showing location, height of poles or fixtures, design and detail (illumination plan showing foot candle measurements).
  - k. Street dedications and improvements, existing and required by City right-of-way standards (inquire with City Engineer if applicable).
  - l. Landscaping with a schedule of the plantings showing quantities, botanical and common names and sizes. Also show size and location of any existing trees.
  - m. Any outdoor storage activities where allowed by zoning codes. Show type, location and height of screening devices.
  - n. Conceptual drainage and grading plan for the site showing proposed finished floor elevation of each building, street elevation and drainage flow elevations. Hydrologic and drainage calculations shall also be submitted.
  - o. Show plans for the waste disposal facilities. Indicate location, access and screening for such facilities.
  - p. Show any easements and location of utilities servicing development.
  - q. Statement of use, including type of business with number of employees by shift.

6. City Ordinance requires design/architectural review to be conducted as part of the Site Plan Review process. The Submittal requirements for Design Review include the following:

- a. Complete exterior elevations of all proposed buildings and existing buildings if they are joined to a new development. Elevations should be drawn at an appropriate scale and should show:
  - i. All signs to be mounted on the building(s) or erected on site.
  - ii. Designations of materials and colors to be used on all exterior facades.
- b. Material samples shall be presented, including color and material type of walls and roofs.
- c. Color samples shall be provided of all principal and secondary colors to be used.
- d. Photographs of surrounding buildings shall be submitted on the same block or street to address issues of design context.

Signature of Applicant:

 DDS

Date:

3/2/16

Printed Name:

JACK M FIEDLER DDS



# City of Waconia

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To: Jack Fiedler, DDS  
Laura Menser, DDS  
Kate Korogi, Strapko Pahl

From: Angie Perera, Assistant Planner

Date: 3/15/16

Re: Staff Review Comments – Site Plan – Dental Office – 732 Vista Blvd.

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## **Parking Design/Spaces/Lot**

1. No loading dock/berth is proposed – City Code requires one loading dock for commercial buildings.
2. Number of parking spaces are in compliance: 34 parking spaces are required for this project and 34 spaces are being proposed. Parking dimensions, ADA spaces, drive lane widths, and setbacks shall be included on the plans.
3. Proposed setbacks of building and proposed impervious surface area shall be included on the plans (the max hardcover/impervious surface area allowed is 80%). *See City Code Section 900.05, Subd. 2, F. for B-1 Highway Business District regulations.*
4. The streets to the north of the site are private. A cross access easement/agreement shall be required between the properties of 712 and 732 Vista Blvd. if one does not already exist. The applicant shall be required to verify and provide documentation.

## **Landscape**

5. Landscape requirements – 27 trees are required with this project (based on the site perimeter and linear footage requirements along streets, and other landscape requirements – consult with city staff if clarification is need on reference to specific City Code Sections)
6. Landscape requirements if facing HWY 5 – 1 deciduous tree must be 3 inch diameter or 1 coniferous tree must be 8 ft. tall ( staff would recommend that the 1 – SWO tree proposed in the SW corner be changed to a 3 inch diameter tree)
7. Landscaping of interior parking lot is required per Architectural regulations; although it is not noted on the landscape plans as being proposed (City Code requires at least 5 ft. wide landscaped area along the public street or sidewalk). *See City Code Section 900.06, Subd. 9, E.*
8. Please make note of proposed vegetation areas on the landscape plans. Please also clarify if the perimeter of the parking lot is intended to be vegetated with grass and if so, note on the plans accordingly.
9. It appears that the three existing trees in the SE corner of the site are proposed to be removed on sheet C1 but not noted as such on the landscape plan on sheet L1 – please update the landscape plan to reflect the proposed removal of these three trees if they are intended to be removed. Also, if the other exiting tree in the NE corner of the site is intended to be replanted elsewhere onsite, the proposed location shall be included on the landscape plans.

### **Lighting**

10. Exterior lighting – The applicant shall verify the height of the proposed poles (35 ft. max allowed), and proposed luminaries cut off angle (no more than 70 degrees), and rendering of poles shall be included with the plans (design/appearance).

### **Signage**

11. Signage – a separate sign permit is required and the signage must comply with City Code Sections 900.10, Sign Regulations and City Code Section 900.06, Subd. 9, E., Architectural Design Standards. City staff has not reviewed the proposed signage to determine compliance of the proposed number of signs, location, size, or any other details of the proposed signage and will do so via a separate sign permit application.
12. Consideration should be given to include the verbiage “dental office” with the proposed signage so as to state the obvious use of the building so that it is apparent.

### **Architectural/Design**

13. EIFS and manufactured stone veneer are being proposed with this project. The proposed colors are noted as “to be selected”– The applicant shall clarify what colors are being proposed, provide color renderings of the proposed building and trash enclosure, and provide sample materials of both.
14. Rooftop equipment - The applicant shall clarify if any roof equipment is being proposed and if so, include on the plans.

### **Water**

15. Hydrant relocate shall be capped at Tee with plug at water main if relocated as shown.
16. Alternate to this would be to cut back Hydrant line to allow 90 degree bend and relocate at east end within proposed Utility Easement. This would eliminate the need to relocate a tree.
17. Add second Hydrant either on Service line to proposed building, or at or near NW entrance within boulevard.
18. Add gate valve to service line at connection point if one is not currently available. (field verify). Staff verified on 3/14/16 that there is a gate valve on the water service line for this property.
19. All ductile iron pipe, hydrant leads, and fittings shall be wrapped in polyethylene encasement.

### **Sanitary:**

20. Sanitary sewer service material shall be SDR 26.

### **Access:**

21. The parking areas private. However, due to the heavy clay soils in the area a minimum section consisting of 4” of bituminous and 8” of aggregate is recommended.
22. Consideration should be given to adding a sidewalk/pedestrian connection to the north (for pedestrian access to and from subject property and the property to the north at 712 Vista Blvd.). *See City Code Section 900.06, Subd. 9, E. subpart 15. b. 3).* - “sidewalks may be required along some or all public streets that abut the proposed development in order to provide pedestrian connections from all adjacent neighborhoods and activity centers” -

### **General:**

23. The applicant will be required to obtain Carver County Watershed Management Organization (CCWMO) approval and permitting for erosion control and stormwater management (or confirmation that none is needed). A copy of any approvals or permits required shall be submitted conditional to Final Site Plan approval.

24. Drainage and Utility easements shall be provided to cover all sewer mains, watermains, and hydrants. Service lines to the building do not require an easement.
25. Record drawings must be submitted upon completion of the project. Two hard copies and an electronic copy are required.



**STRAPKO PAHL**  
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN

To: Angie Perera, Assistant City Planner

Cc: Lane Braaten, City Planner  
Dr Jack Fiedler, Owner  
Dr. Laura Menser, Owner  
Plowe Engineering, Civil Engineer

Date: March 17, 2016

Re: Response to City comments dated 03/15/16

Our responses to Staff Review Comments are listed below:

City comments were noted in blue on 3/24/16

**Parking Design/Spaces/Lot**

1. We have designed hundreds of dental clinics and never have been required to have a loading dock. There is no logical purpose for this request. It does not appear to be listed anywhere in City code. Please reference section stating reason for this requirement.

City Comments: City Code Section 900.09, Subd. 2 “Loading Regulations” includes the specific regulations pertaining to loading docks/berths.

Subpart 7. states: “Loading berths required:”

- a. Commercial and Industrial: All buildings shall have at least one off-street loading berth. Buildings which are 10,000 square feet or more, shall have at least 2 loading berths.
- b. Other uses: uses not mentioned shall be determined on an individual basis by the City Council. Factors to be considered in such determinations shall include (without limitation) size of buildings, type of use, number of employees, expected volume and turnover of customer traffic and expected frequency and number of delivery or service vehicles.”

The applicant may wish to explain the proposed traffic circulation in respects to the factors listed identified in subpart 7.b. (ie. in terms of traffic circulation, deliveries, and etc.) if the applicant feels that the proposed dental office is unique or should be considered as an “other use” and not the typical “commercial use”.

2. No response required.

City Comments: Understood.

3. Setbacks are shown on site plan. Is there further information required?

City Comments: The building setback line “BLDSB” appears to be indicated on sheet C1 of the Site Plan however the actual proposed setbacks of the building and the trash enclosure should be noted on the actual plans (ie. Trash enclosure: south lot line: 22 ft., north lot line: XX ft., west lot line: XX ft., east lot line: XX ft. and Building: south lot line: 30 ft., north lot line: XX ft., west lot line: XX ft., east lot line: XX ft.)

4. Owner is checking into whether or not the referenced agreement is in existence. If not, one will be drawn up between two property Owners. City Comments: Understood.

### Landscape

5. Please provide clarification on how 27 trees was calculated. Based on the different calculations we have researched, we come up with 16 trees for site perimeter, 4 trees for Hwy. 5 frontage, and 5 trees for parking lot frontage along a street, for a total of 25 trees. There are existing trees on the site that we will plan to include in our final count.

#### City Comments:

**See the following City Code Sections for reference as to how staff determined the total number of required trees. Staff has revised the landscape requirements and is requiring 26 trees based on the ordinance language below.**

- Architectural Design Standards – City Code Section 900.06, Subd. 9, E., subpart 15.b.3) states: “One tree shall be provided for each 25 linear feet of parking lot frontage on a public street or accessway.”
  - Staff calculated the 25 linear feet using the length of the 15 parking spaces along the north lot line north lot line (135 ft. / 25 ft. = 5.4 or **6 trees**)
- Landscaping and Fencing – City Code Section 900.07, Subd. B., subpart 1. states: “One (1) tree for every one thousand (1,000) square feet of total building floor area or one (1) tree for every fifty (50) feet of site perimeter, whichever is greater.”
  - The site perimeter is greater, requiring a6 trees (site perimeter = 781.55 ft. / 50 ft. = 15.63 or **16 trees**)
- Landscaping and Fencing - City Code Section 900.07, Subd. B., subpart 7. states: “Additional plantings shall be required for properties fronting State Highway # 5. The following will be required for every 40 ft. of frontage along Highway # 5.”
  - a. One (1) three inch (3”) minimum deciduous tree. Or, One (1) eight foot (8”) minimum coniferous tree.
  - Staff used 148.96 ft. of the south lot line (the portion fronting HWY 5) for determining this criteria as follows: 148.96 ft. / 40 ft. = 3.724 or **4 trees**. All 4 trees must meet the caliper inch or height requirement as required.
  - Any existing trees that are located on the property may be used toward the landscape requirements if they are alive and healthy trees but would need to be noted correctly on the landscape plans. If any existing trees are going to be relocated elsewhere onsite that should be correctly noted on the landscape plans as well.
- **Please also note the following: City Code Section 900.07, Subd. 2, G. subpart 3. States the following: “The complement of trees fulfilling the requirements of this policy shall be not less than 25% deciduous and not less than 33% coniferous.”**

6. This change will be made by the Civil Engineer.

City Comments: Understood.



**STRAPKO PAHL**  
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN

7. Please provide clarification. There are no open areas of the parking lot that would require landscaping per the code. The center peninsula between the two parking areas already includes a tree and will have sod.

City Comments: Understood. Please disregard staff's previous comment # 7. The proposed sod area shall be interpreted as meeting the intent of a "landscaped yard" per City Code Section 900.06, Subd. 9, E., subpart 15. b. 1).

8. This change will be made by the Civil Engineer.

City Comments: City Comments: Understood.

9. Existing trees in SE corner are NOT to be removed. Civil can show relocated location of existing NE tree.

City Comments: Understood. Please make sure all of the plan sheets are consistent in terms of existing trees being saved, removed, and/or relocated.

### **Lighting**

10. 25' pole height is indicated on Sheet SL1. I have attached cut sheets of these pole lights with this memorandum.

City Comments: Understood.

### **Signage**

11. Sign designer and installer will be submitting for signage permit when the time comes.

City Comments: Understood.

12. Dr Jack Fiedler and Dr Laura Menser are in the process of rebranding their entity. Signage wording will reflect their practice name.

City Comments: Understood.

### **Architecture/Design**

13. Sample colors of each exterior finish material will be available to view at the Planning Commission and City Council meeting. Final color selections are presently being made.

City Comments: Understood.

14. Roof plan is not listed as part of your submittal requirements for Site Plan approval. This information will all be included when we submit our construction documents for permit. Roof top units will be what is

proposed, but exact locations won't be established until we are completing the construction documents. Parapets, currently shown on the elevations, will provide screening for these units.

City Comments: Understood. Staff verified that rooftop equipment is not required to be screened in the Highway Business district per the Architectural Design Standards of the City Code, although staff would encourage that it be screened as is being proposed in these comments. Please disregard staff's previous comment regarding comment # 14.

### Water

15. Civil will address this item. City Comments: Understood.
16. Civil will address this item. City Comments: Understood.
17. Civil will address this item. City Comments: Understood.
18. Civil will address this item. City Comments: Understood.
19. Civil will address this item. City Comments: Understood.

### Sanitary

20. Civil will address this item.

City Comments: Understood.

### Access

21. Civil will address this item.

City Comments: Understood.

22. Discussion is required for this item. We will require further explanation as to why a sidewalk is required beyond what is shown on the plans. There are two sidewalks shown on the adjacent property that surround the parking directly across from our submitted site plan. There doesn't appear to be a logical explanation for "connecting" these pedestrian walkways, and in doing so parking spaces could potentially be reduced. Maintaining current parking calculations appears to be required. Please provide further explanation regarding this request.

City Comments:

City Code Section 900.06, Subd. 9, "Architectural Design Standards", E. "Design Standards, Highway District", subpart 19.b. "Pedestrian and Bicycle Access" requires the pedestrian connection regulation as referenced below. **Please also read through standards b. 1 through 5 within this section, as number 5 also requires bicycle parking.**

A crosswalk and concrete sidewalk should be installed on the north side of the site to provide connectivity to the parcels to the north and west of the property providing linkage to existing and future developments. Staff is providing a drawing of the connection (attached) for your review.

"Pedestrian and Bicycle Access

- a. *Objective:* To ensure that pedestrians and bicyclists have safe and convenient access to all retail establishments.
- b. *Standards:*
  - 1) Sidewalks may be required along some or all public streets that abut the proposed development in order to provide pedestrian connections from all adjacent neighborhoods and activity centers.
  - 2) A well-defined pedestrian path shall be provided from the sidewalk to each principal customer entrance of a building. Walkways shall be located so that the distance

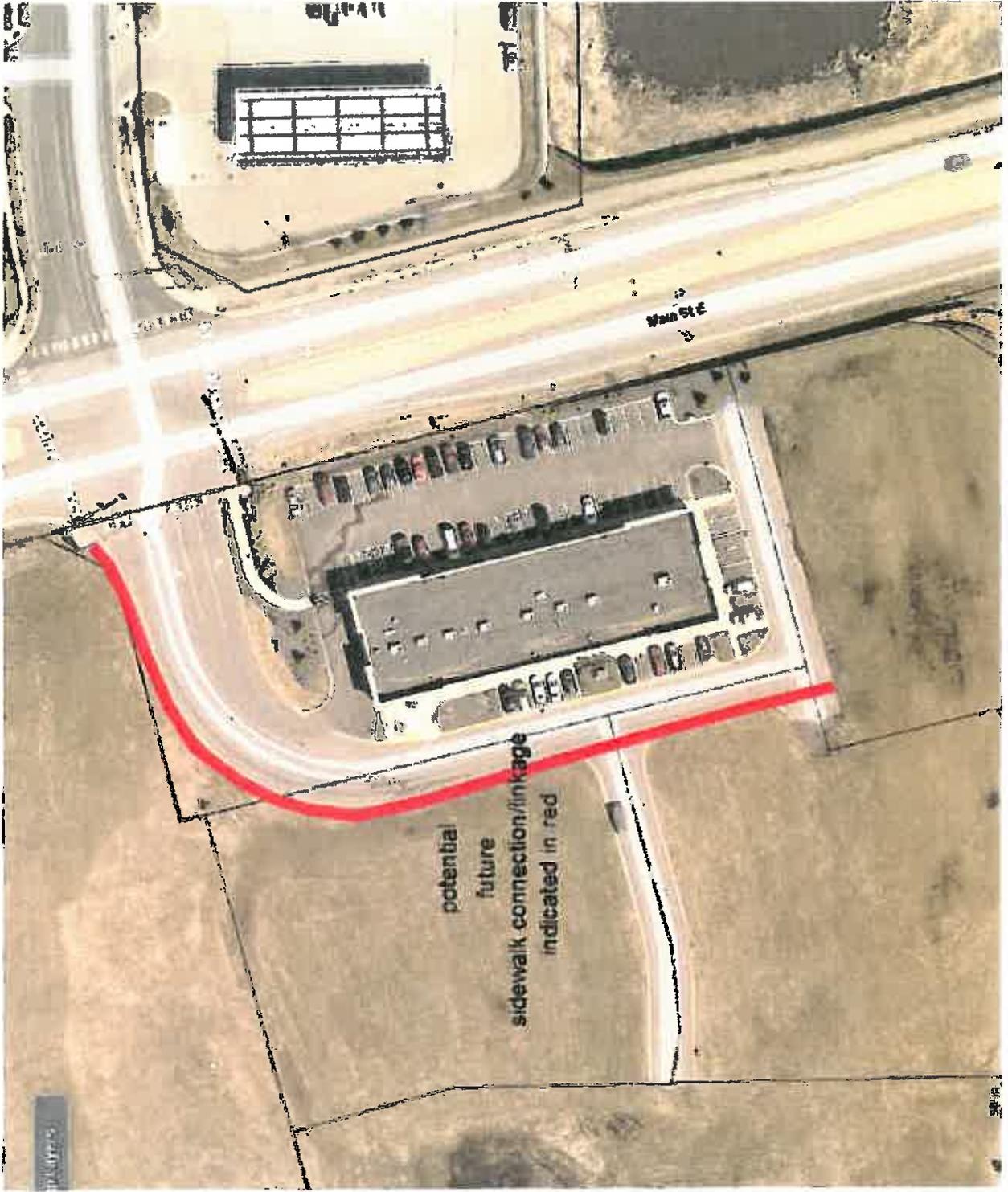


- between street and entrance is minimized. Walkways shall be at least 5 feet in width, and shall be distinguished through pavement material from the surrounding parking lot. Walkways shall be landscaped for at least 50 percent of their length with trees, shrubs, and planting beds.
- 3) Sidewalks of at least 8 feet in width shall be provided along all front building facades that abut public parking areas.
  - 4) Walkways and sidewalks should be defined by design features such as towers, arcades, porticoes, pedestrian-scale light fixtures, planters, and other architectural elements.
  - 5) Bicycle parking shall be provided in a convenient and visible location no farther from the principal entrance than the closest automobile parking space, at a ratio of 1 space per 25 automobile parking spaces. Bicycle parking shall consist of a bike rack designed so that the bicycle frame can be locked to the rack, subject to the review of the City Engineer.”

### **General**

23. A letter will be obtained from CCWMO.

City Comments: Understood.



potential  
future  
sidewalk connection/linkage  
indicated in red

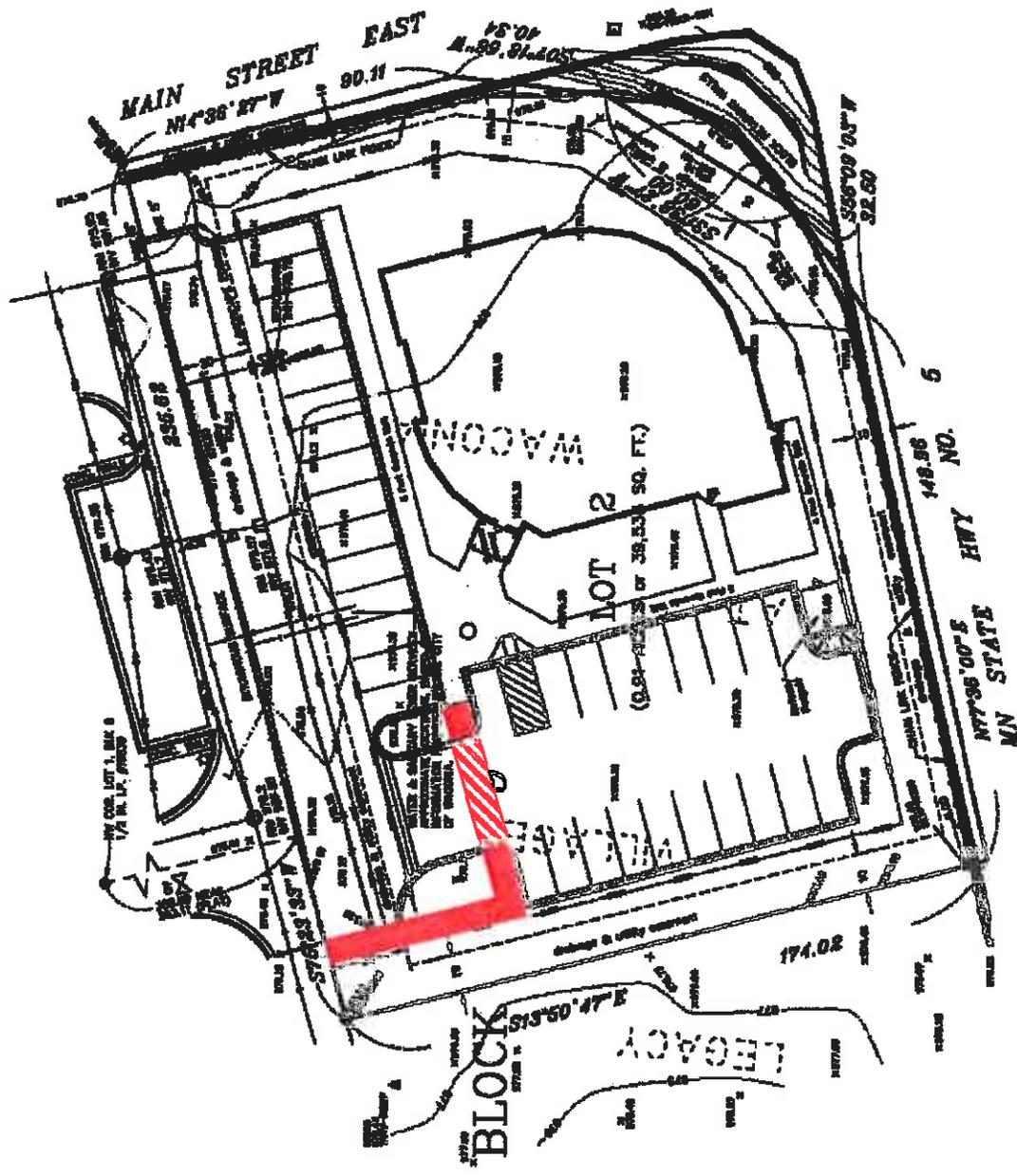
Main St E

100' R/W

20' R/W

100' R/W

SR 14



MAIN STREET EAST  
N14°38'47\"/>

18'00\"/>

90.11

S85°08'03\"/>

256.68

WAGON

LOT 2  
(0.91-ACRES or 39,538 SQ. FT.)

148.56

HWY NO. 6

MIN STATE

HWY NO. 5

276.93

174.02

LEGACY  
S13°50'47\"/>



**STRAPKO PAHL**  
ARCHITECTURE ► SPACE PLANNING ► INTERIOR DESIGN

To: Angie Perera, Assistant City Planner

Cc: Lane Braaten, City Planner  
Dr Jack Fiedler, Owner  
Dr. Laura Menser, Owner  
Plowe Engineering, Civil Engineer

Date: March 29, 2016

Re: Response to City comments dated 03/24/16

Our responses to Staff Review Comments are listed below:

#### **Parking Design/Spaces/Lot**

1. City Code Section 900.09, Subd. 2 “Loading Regulations”  
Subpart 7. “Loading berths required”

Expected deliveries to the proposed dental office building will be infrequent, not on a daily basis and will be hand carried to the front door by the UPS, FedEx or other delivery person. Size and frequency of deliveries do not lend to the need for a loading berth/dock. Therefore, we request that the city consider the proposed dental office building as an “other use” and not be required to provide a loading berth/dock.

2. No response required
3. Revised civil drawings provide dimensions locating the building and refuse enclosure from the lot lines.
4. Owner is checking into whether or not the referenced agreement is in existence. If not, one will be drawn up between two property Owners.

#### **Landscape**

5. Revised Landscape plan indicates 24 new trees plus 2 existing trees for a total of 26 as required by the city ordinance for this site. 65% are deciduous and 35% are coniferous.
6. Revised landscape plan indicates the size of SWO tree in SW corner of lot to be 3”.
7. Revised landscape plan indicates sod & seed locations on site.
8. Revised landscape plan indicates sod & seed locations on site.
9. Revised landscape plan shows new trees and all existing trees to remain.

### **Lighting**

10. 25' pole height is indicated on Sheet SL1. Cut sheets of these pole lights were provided to city with previous memo.

### **Signage**

11. Sign designer and installer will be submitting for signage permit when the time comes.
12. Dr Jack Fiedler and Dr Laura Menser are in the process of rebranding their entity. Signage wording will reflect their practice name.

### **Architecture/Design**

13. Sample colors of each exterior finish material will be available to view at the Planning Commission and City Council meeting. Final color selections are presently being made.
14. City has indicated that rooftop screening is not required in the Hwy. Business District. Roof top units will be proposed, exact locations won't be established until we are completing the construction documents. However, Parapets currently shown on the elevations, will provide screening for these units.

### **Water**

15. See revised civil drawings, sheet C2.
16. See revised civil drawings, sheet C2.
17. See revised civil drawings, sheet C2.
18. See revised civil drawings, sheet C2.
19. See revised civil drawings, sheet C2, Water Main Notes.

### **Sanitary**

20. See revised civil drawings, sheet C2, Sanitary Sewer Notes.

### **Access**

21. See revised civil drawings, sheet C3.
22. Crosswalk and concrete sidewalk will be installed on North side of site to provide connectivity for pedestrians and bikers to the parcels to the north and west. See revised civil drawings.

### **General**

23. A letter will be obtained from CCWMO.

# SITE PLAN & DESIGN REVIEW SUBMITTAL

## Preliminary Design Documents For

# Professional Office Building

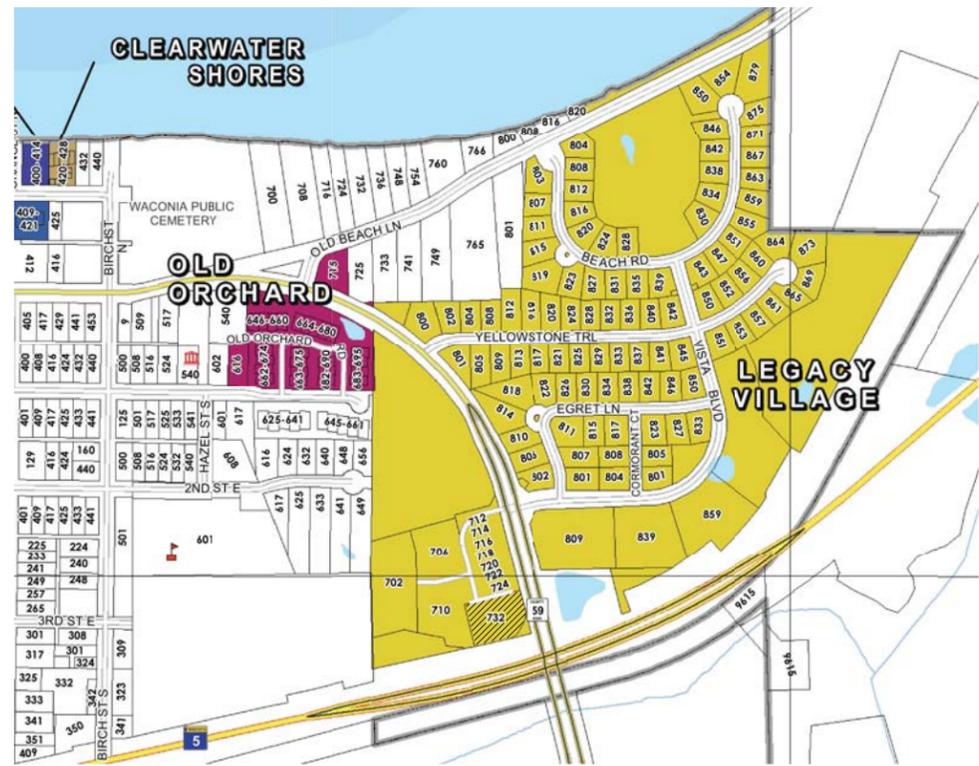
## Jack Fiedler, DDS

## Laura Menser, DDS

### Lot 2, Block 9, Legacy Village

### City of Waconia, Carver County, Minnesota

**REVISED SUBMITTAL  
PER CITY COMMENTS  
03-29-16**



**SHEET INDEX**

- ARCHITECTURAL**  
C0.0 COVER SHEET
- SURVEY**  
BOUNDARY & TOPOGRAPHIC SURVEY
- CIVIL**  
C1 TITLE SHEET, SITE PLAN, NOTES & LEGEND  
C2 GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN  
C3 DETAILS
- LANDSCAPE**  
L1 LANDSCAPE PLAN
- SITE LIGHTING**  
SL1 SITE PHOTOMETRIC PLAN
- ARCHITECTURAL**  
A1.0 FLOOR PLAN  
A2.0 EXTERIOR ELEVATIONS  
A2.1 EXTERIOR ELEVATIONS  
A2.2 EXTERIOR ELEVATIONS  
A2.3 REFUSE/RECYCLE ENCLOSURE

**PROJECT CONSULTANTS**

- OWNER:** FAMILY DENTISTRY  
JACK FIEDLER, DDS  
LAURA MENSER, DDS  
WACONIA, MINNESOTA  
TEL.  
CONTACT: JACK FIEDLER
- ARCHITECT:** JAMES A. STRAPKO, ARCHITECT LTD.  
4157 MINNEHAHA AVENUE  
MINNEAPOLIS, MINNESOTA 55406  
TEL. 612-729-4112  
FAX 612-729-4831  
CONTACT: JIM STRAPKO
- CIVIL:** PLOWE ENGINEERING, INC.  
6776 LAKE DRIVE, SUITE 110  
LINO LAKES, MINNESOTA 55014  
TEL. 651-361-8210  
CONTACT: CHUCK PLOWE
- SURVEYOR:** E.G. RUD & SONS, INC.  
6776 LAKE DRIVE, SUITE 110  
LINO LAKES, MINNESOTA 55014  
TEL. 651-361-8200  
CONTACT: KURT NELSON
- SITE LIGHTING:** ARCHITECTURAL LIGHTING DESIGNS, INC.  
2920 ANTHONY LANE  
ST. ANTHONY, MINNESOTA 55418  
TEL. 612-252-4111  
CONTACT: STEVE HOWELLS
- CONTRACTOR:** TO BE SELECTED  
STREET  
CITY, STATE ZIP  
TEL.  
CONTACT:

**PROJECT DATA**

- SCOPE OF WORK**  
I. PROFESSIONAL OFFICE BUILDING FOR A DENTAL OFFICE.
- PROJECT:**  
GROSS BUILDING AREA: 6373 SQ.FT.  
GROSS FLOOR AREA(DENTAL OFFICE): 6186 SQ.FT.
- OCCUPANCY:** B
- CONSTRUCTION TYPE:** V-B
- AUTOMATIC SPRINKLER SYSTEM:** TO BE DETERMINED
- FIRE ALARM & SMOKE DETECTION:** YES
- NUMBER OF STORIES:** 1



James A. Strapko Diane Pahl Strapko  
4157 MINNEHAHA AVENUE, MINNEAPOLIS, MN 55406  
TEL: 612-729-4112 FAX: 612-729-4831 www.strapko.com

PROFESSIONAL OFFICE BUILDING  
Jack Fiedler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

PRELIMINARY



SITE PLAN REVIEW PACKAGE  
COVER SHEET

SD ISSUE  
03-03-16

CD  
C0.0

# CERTIFICATE OF SURVEY

~for~ STRAPKO PAHL

~of~ Lot 2, Block 9, LEGACY VILLAGE AT WACONIA, Carver County, Minnesota.

Location: 732 Vista Blvd. Waconia, MN PID: 753131010

## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 45356
- ▣ DENOTES CABLE PEDESTAL
- ▤ DENOTES FIBER OPTIC BOX
- DENOTES CATCH BASIN
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊖ DENOTES HYDRANT
- ⊗ DENOTES GATE VALVE
- ☆ DENOTES LIGHT POLE
- DENOTES EXISTING CONTOURS. 1 foot minor & 5 foot major Interval
- x 952.36 DENOTES EXISTING SPOT ELEV.
- DENOTES EXISTING STORM
- DENOTES EXISTING SANITARY
- DENOTES EXISTING WATER
- GAS DENOTES UNDERGROUND GAS
- BLDG DENOTES BUILDING SETBACK LINE

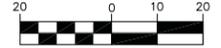
## BENCHMARK

Top Nut Hydrant (TNH) on Lot 2, Block 9, LEGACY VILLAGE AT WACONIA. TNH=978.75 NAVD88

**NORTH**

Bearings shown are based upon the record plat: LEGACY VILLAGE AT WACONIA

**GRAPHIC SCALE**



( IN FEET )

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 5FEB16.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed premises.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- The City of Waconia 2015 zoning map found on the City's website indicates that the surveyed premises shown on this survey is currently zoned B-1 (Highway Business District) under the applicable zoning regulations, and that the current setbacks are:

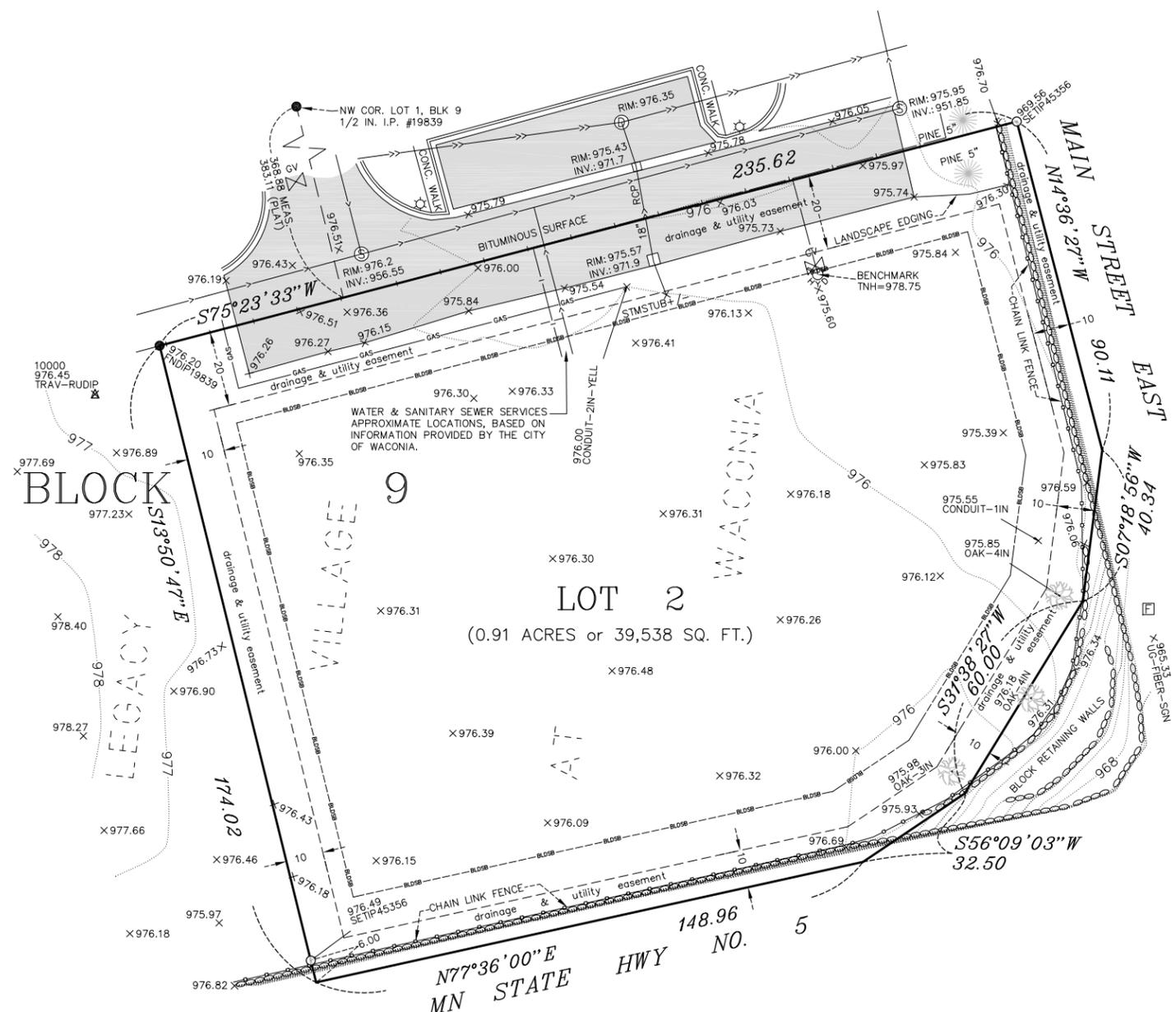
Building: Front = 25 feet  
Street side = 20 feet  
Interior side = 15 feet  
Rear yard = 20 feet

For additional information contact the Planning and Zoning Department at the City of Waconia at (952) 442-3106.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

KURT D. NELSON

Date: 12FEB16 License No. 45356



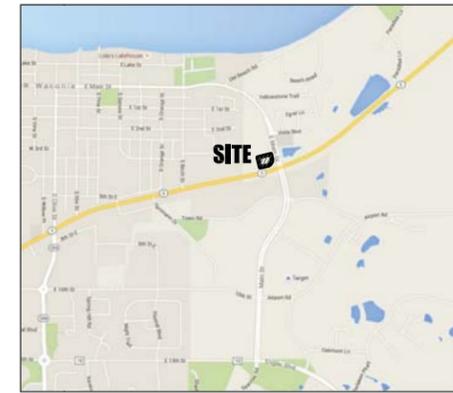
DRAWN BY: KDN	JOB NO: 16060LS	DATE: 12FEB16
CHECK BY: KDN	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

# FIEDLER, D.D.S.

## TITLE SHEET, NOTES & LEGEND

### WACONIA, MINNESOTA

#### VICINITY MAP



N.T.S.

DRAWN BY: C.M. DESIGN BY: C.W.P.  
 CHCKD BY: C.W.P. PROJ. NO. 16-1600  
 ORIGINAL DATE: MARCH 3, 2016

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
**Charles W. Plowe**  
 CHARLES W. PLOWE LIC. NO. 16227  
 DATE: 03.29.2016

#### LEGEND

OHW	EXISTING OVERHEAD ELECTRIC	— —	PROPOSED WATER PIPE
TEL	EXISTING UNDERGROUND TELEPHONE	—>—	PROPOSED SANITARY SEWER PIPE
CBL	EXISTING UNDERGROUND CABLE	—>>—	PROPOSED STORM SEWER PIPE
TEL	EXISTING TELEPHONE PEDESTAL	—<<—	PROPOSED DRAIN TILE AND CLEAN-OUT
ELEC	EXISTING ELECTRICAL PEDESTAL	—ELEC—	PROPOSED ELECTRIC SERVICE *
CBL	EXISTING CABLE PEDESTAL	—GAS—	PROPOSED GAS SERVICE *
UTL	EXISTING UTILITY POLE	—TEL—	PROPOSED TELEPHONE SERVICE *
L.P.	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
SS	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
WM	EXISTING WATER MAIN	△	PROPOSED FLARED-END SECTION
SS	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
FM	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	—928—	PROPOSED CONTOUR
△	EXISTING FLARED-END SECTION	—930—	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING GATE VALVE	⊗	PROPOSED SILT FENCE
⊗	EXISTING HYDRANT	—4.0%—	PROPOSED DIRECTION OF DRAINAGE
⊙	EXISTING WELL	■	PROPOSED BITUMINOUS
⊙	EXISTING SANITARY SEWER MANHOLE	■	PROPOSED CONCRETE
—930—	EXISTING CONTOUR	■	PROPOSED RIP-RAP
⊗	EXISTING SPOT ELEVATION	■	PROPOSED FILTRATION MEDIA
⊗	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	○	PROPOSED INLET PROTECTION
■	EXISTING BITUMINOUS	■	PROPOSED HEAVY-DUTY PAVEMENT
■	EXISTING BITUMINOUS (TO BE REMOVED)	■	PROPOSED ENKAMAT
⊗	EXISTING TREES	⊗	EXISTING TREES (TO BE REMOVED)
⊗	EXISTING RETAINING WALL	⊗	EXISTING FENCE
⊗	EXISTING WETLAND	—WET—	EXISTING WETLAND

#### GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

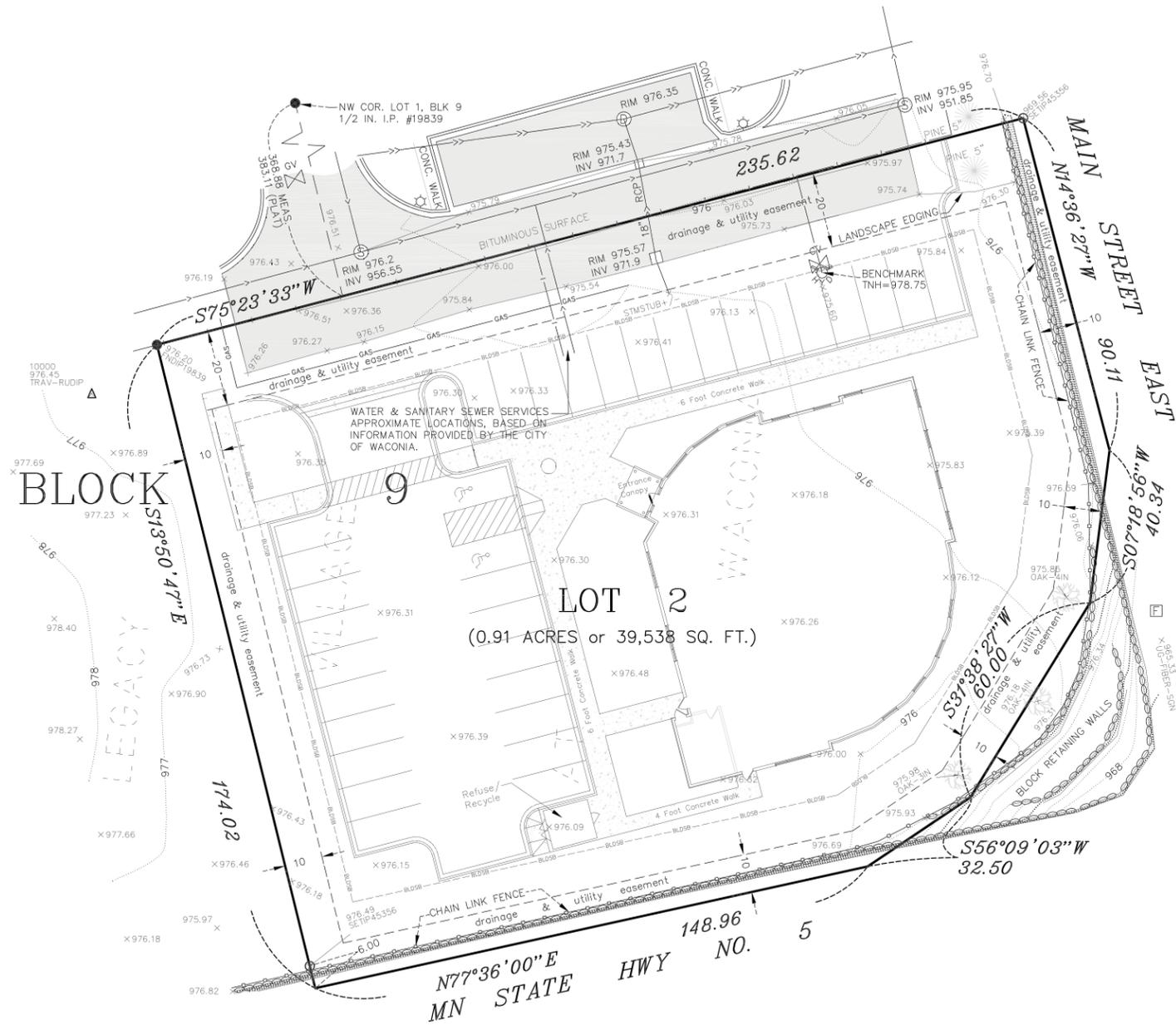
INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.



#### SHEET INDEX

- C1 TITLE SHEET, NOTES & LEGEND
- C2 GRADING, DRAINAGE, ESC & UTILITY PLAN
- C3 DETAILS
- L1 LANDSCAPE PLAN

**FIEDLER, D.D.S.**  
 WACONIA, MINNESOTA  
 TITLE SHEET, NOTES & LEGEND

PREPARED FOR:  
 STRAPKO PAHL

**PLOWE ENGINEERING, INC.**  
 SITE PLANNING & ENGINEERING  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701

**NORTH**

0 10 20  
 1 INCH = 20 FEET

# C1

Know what's below.  
 Call before you dig.

S:\wacoma\wacoma\16-1600\_FIEDLER.DDS - WACONIA.TE-1600\_CAD\16-1600\_BASE\_7\_C3D.dwg 3/29/2016

**LEGEND**

— OHW —	EXISTING OVERHEAD ELECTRIC	— I —	PROPOSED WATER PIPE
— TEL —	EXISTING UNDERGROUND TELEPHONE	— S —	PROPOSED SANITARY SEWER PIPE
— CBL —	EXISTING UNDERGROUND CABLE	— SS —	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	— D —	PROPOSED DRAIN TILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	— ELEC —	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	— GAS —	PROPOSED GAS SERVICE *
⊙	EXISTING UTILITY POLE	— TEL —	PROPOSED TELEPHONE SERVICE *
⊙	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
— SS —	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
— W —	EXISTING WATER MAIN	△	PROPOSED FLARED-END SECTION
— S —	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
— FM —	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊗	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	— 928 —	PROPOSED CONTOUR
△	EXISTING FLARED-END SECTION	— 930 —	PROPOSED CONTOUR
⊗	EXISTING GATE VALVE	⊗	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING HYDRANT	⊗	PROPOSED SILT FENCE
⊗	EXISTING WELL	— 4.0% —	PROPOSED DIRECTION OF DRAINAGE
⊗	EXISTING SANITARY SEWER MANHOLE	▨	PROPOSED BITUMINOUS
— 930 —	EXISTING CONTOUR	▨	PROPOSED CONCRETE
⊗	EXISTING SPOT ELEVATION	▨	PROPOSED RIP-RAP
⊗	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	▨	PROPOSED FILTRATION MEDIA
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▨	EXISTING BITUMINOUS (TO BE REMOVED)	▨	PROPOSED HEAVY-DUTY PAVEMENT
⊗	EXISTING TREES	▨	PROPOSED ENKAMAT
⊗	EXISTING TREES (TO BE REMOVED)		
⊗	EXISTING RETAINING WALL		
— X —	EXISTING FENCE		
— WET —	EXISTING WETLAND		

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**CURB & BITUMINOUS NOTES**

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.

**SANITARY SEWER NOTES**

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SANITARY SEWER SHALL BE PVC SDR-26.

**STORM SEWER NOTES**

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS OR, IF ALLOWED BY CITY, HDPE PIPE MAY BE USED. (SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED.) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

**WATER MAIN NOTES**

EXISTING WATER SERVICE LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER SERVICE.

PROPOSED WATER SERVICE SHALL BE 6" DIP CL 52.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANSI A21.11).

MAINTAIN MINIMUM 7.5-FT COVER TO TOP OF ALL WATER MAIN PIPE.

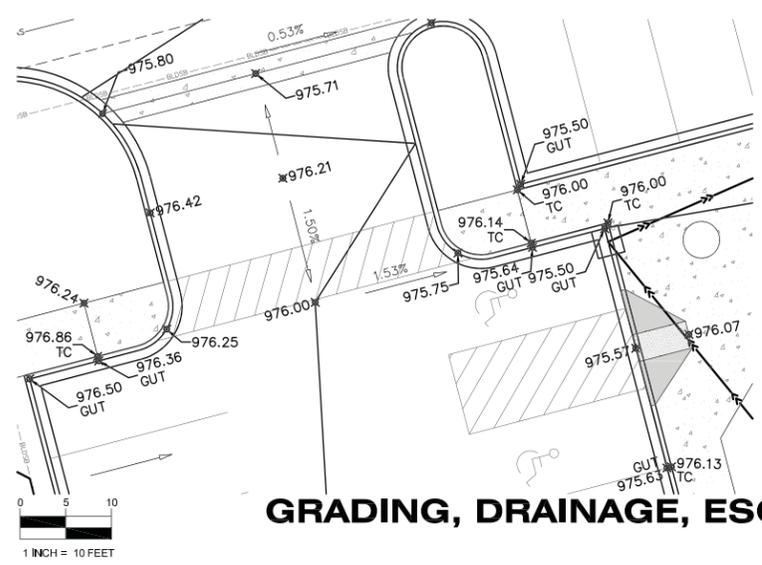
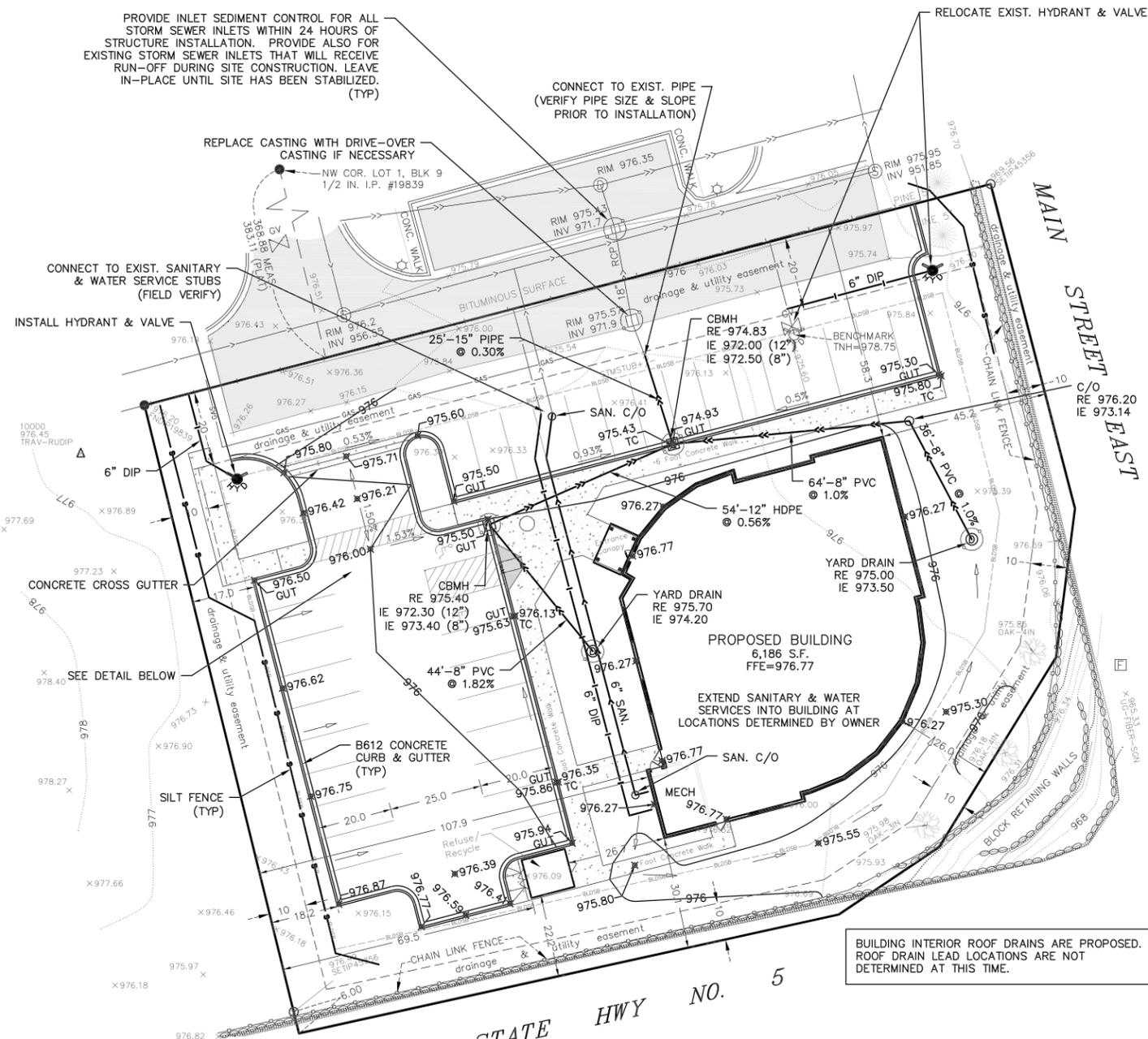
TAPS OF LIVE WATER MAINS TO BE DONE BY CITY FORCES; HOWEVER, THEY SHALL BE PAID FOR AND COORDINATED BY THE CONTRACTOR.

ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT, SHALL UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANS/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS.

COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD-ON FLANGE OR AN MJ-TO-FLANGE ADAPTER.

ALL DUCTILE IRON PIPE, HYDRANT LEADS, AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE ENCASEMENT.

PROVIDE INLET SEDIMENT CONTROL FOR ALL STORM SEWER INLETS WITHIN 24 HOURS OF STRUCTURE INSTALLATION. PROVIDE ALSO FOR EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING SITE CONSTRUCTION. LEAVE IN-PLACE UNTIL SITE HAS BEEN STABILIZED. (TYP)



**GRADING, DRAINAGE & EROSION CONTROL NOTES**

PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE W/MCO INLET PROTECTION (OR OTHER APPROVED EQUAL) FOR ALL STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF FROM CONSTRUCTION ACTIVITIES.

CONTRACTOR TO PROVIDE TOPSOIL STOCKPILES AT LOCATION DESIGNATED BY OWNER. PLACE STOCKPILES AS FAR FROM DRAINAGE WAYS AS POSSIBLE. PROVIDE SILT FENCE AT DOWNSTREAM SIDE OF STOCKPILE LOCATIONS. IF STOCKPILE IS TO BE IN-PLACE LONGER THAN 7 DAYS, PROVIDE SEED AND MULCH.

THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

\* MOW A MINIMUM OF:  
RESIDENTIAL TURF - ONCE PER 2 WEEKS  
COMMERCIAL TURF - ONCE PER 4 WEEKS

\*\* SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS, AND THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS BEST MANAGEMENT PRACTICES FOR MINNESOTA."

THE CONTRACTOR SHALL PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM STORM DRAINS, DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE). AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.

THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN-PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.

IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.

THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.

THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES, OVERFLOWS, AROUND STORM SEWER FLARED-END SECTIONS, AND OFF-STREET CATCH BASINS.

UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.

EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES AND SHALL NOT BE PLACED IN SURFACE WATERS.

ADJACENT STREETS SHALL BE KEPT CLEAN OF CONSTRUCTION MATERIALS, DIRT, AND OTHER UNDESIRABLE MATERIALS. WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SWEEP/SCRAPE STREETS AS NECESSARY OR AS DIRECTED BY THE CITY.



Know what's below.  
Call before you dig.

**GRADING, DRAINAGE, ESC & UTILITY PLAN  
FIEDLER, D.D.S.**

DRAWN BY: C.M.	DESIGN BY: C.W.P.
CHKD BY: C.W.P.	PROJ. NO. 16-1600

ORIGINAL DATE:  
MARCH 3, 2016

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

*Charles W. Fiedler*  
CHARLES W. FIEDLER  
LIC. NO. 16227  
DATE: 03.29.2016

**FIEDLER, D.D.S.**  
WAGONIA, MINNESOTA  
GRADING, DRAINAGE, ESC & UTILITY PLAN

PREPARED FOR:  
STRAPKO PAHL



**ENGINEERING, INC.**

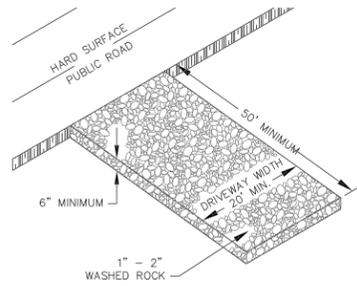
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

**NORTH**



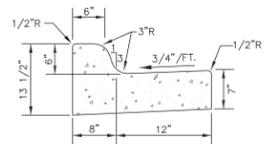
0 10 20  
1 INCH = 20 FEET

**C2**



**ROCK CONSTRUCTION ENTRANCE**

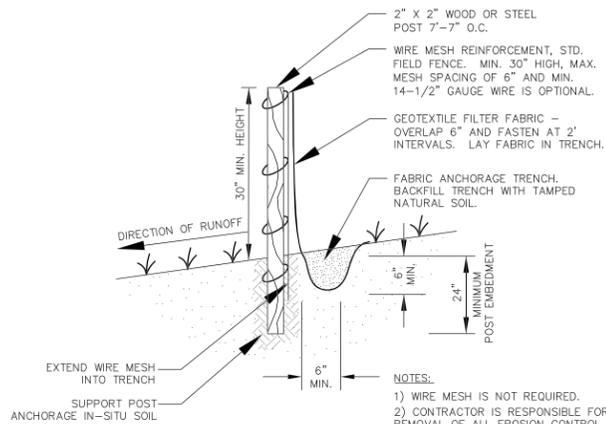
NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

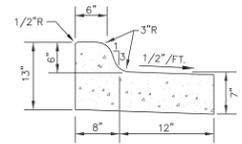
**B612 CONCRETE CURB AND GUTTER**

NOT TO SCALE



**EROSION CONTROL FENCE**

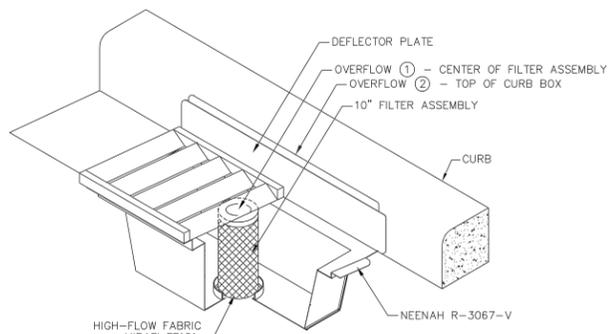
NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

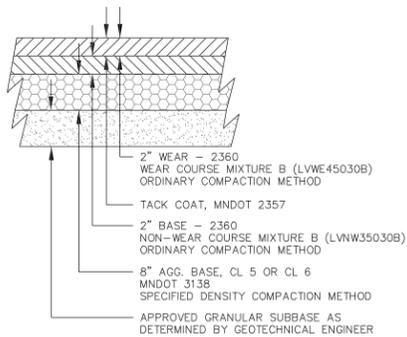
**B612 CONCRETE CURB AND GUTTER TIP-OUT**

NOT TO SCALE



**WIMCO INLET PROTECTION**

NOT TO SCALE



PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS AND PAVEMENT SECTION PRIOR TO ANY INSTALLATIONS.

**PROPOSED BITUMINOUS**

NOT TO SCALE

DRAWN BY: C.M.	DESIGN BY: C.W.P.
CHCKD BY: C.W.P.	PROJ. NO. 16-1600
ORIGINAL DATE: MARCH 3, 2016	

REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Charles W. Plowe*  
CHARLES W. PLOWE  
DATE: 03.29.2016 LIC. NO. 16227

**FIEDLER, D.D.S.**  
WACONIA, MINNESOTA  
DETAILS

PREPARED FOR:  
STRAPKO PAHL



SITE PLANNING & ENGINEERING

**PLOWE ENGINEERING, INC.**

6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701



Know what's below.  
Call before you dig.

**DETAILS**  
**FIEDLER, D.D.S.**

**C3**

**LANDSCAPING NOTES**

STAKE AND/OR MARK ALL PLAN PLANTING LOCATIONS PRIOR TO INSTALLATION. OWNER TO APPROVE ALL LOCATIONS PRIOR TO INSTALLATION.

ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.

ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.

ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE.

ALL TREES MUST BE PLANTED, MULCHED, AND STAKED AS SHOWN IN THE DETAILS.

MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. USE 4" FOR TREES, SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.

PLANTING SOIL SHALL HAVE A pH RANGE OF 5.00 TO 8.00. SOIL SHALL BE DECOMPACTED AND FREE OF STICKS, STONES, AND OTHER DEBRIS. SOIL SHALL CONTAIN NO LESS THAN 5% ORGANIC COMPOST AND 25% SAND. FOR PLANTING OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASS, A MINIMUM OF 6" OF TOPSOIL SHALL BE PLACED ON THE AFFECTED AREAS BEFORE INSTALLATION. FOR ESTABLISHMENT OF TURF, A MINIMUM DEPTH OF 6" OF TOPSOIL SHALL BE PLACED ON THE AFFECTED AREAS BEFORE INSTALLATION OF SOD OR SEED.

SOIL SAMPLES SHOULD BE SUBMITTED WITH AMENDMENT PROCEDURES INDICATED PRIOR TO INSTALLATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.

PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MN/DOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTOTILLING IT INTO THE TOP 12" OF SOIL.

MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.

WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK, IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

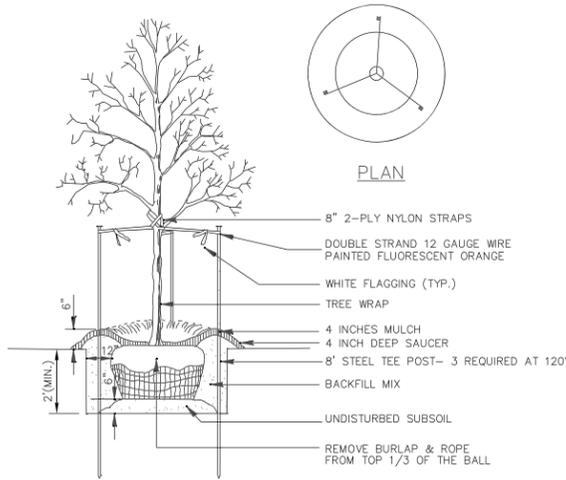
WHERE IRRIGATION SYSTEMS ARE INSTALLED, SAID SYSTEMS SHALL HAVE WATER SENSOR DEVICES TO AVOID OVERWATERING AND TIMING DEVICES TO ENSURE IRRIGATION IS CONDUCTED DURING THE HOURS PERMITTED BY THE CITY WATER RESTRICTION REQUIREMENTS.

ALL DISTURBED AREAS TO BE TURF SEEDDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

ALL WORK TO BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT TIME OF ACCEPTANCE BY OWNER. CONTRACTOR TO MAKE ALL REPLACEMENTS IN A TIMELY MANNER.

ALL MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.

WHEN STAKING OR QUINING OF TREES IS REQUIRED, IT SHALL OCCUR SO AS NOT TO CREATE ANY HAZARDS OR UNSIGHTLY OBSTACLES. ALL WIRES SHALL BE ENCASED IN HOSE TO PREVENT TREE DAMAGE.



NOTE: SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

**DECIDUOUS TREE PLANTING DETAIL**

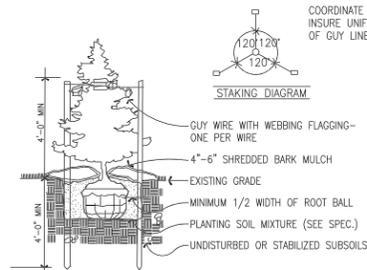
NOT TO SCALE

1. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
2. TRIM OUT DEAD WOOD AND WEAK AND/OR DEFORMED TWIGS. DO NOT CUT A LEADER. DO NOT PAINT CUTS.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED BACKFILL SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE.
4. PLACE PLANT IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT. BACKFILL WITH APPROX. 12" OF THE TOP OF ROOTBALL, WATER PLANT. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS, WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM TOP 1/3 OF THE BALL. REMOVE ALL TWINE.
5. PLUMB AND BACKFILL WITH BACKFILL SOIL.
6. WATER TO SETTLE PLANTS AND FILL VOIDS.
7. WATER WITHIN TWO HOURS OF INSTALLATION. WATERING MUST BE SUFFICIENT TO THOROUGHLY SATURATE ROOT BALL AND PLANTING HOLE.
8. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

NOTE: GUY ASSEMBLY OPTIONAL BUT CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MAINTAINING TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD

GUY ASSEMBLY-- 16" POLYPROPYLENE OR POLYETHYLENE (40 ML) 1-1/2" WIDE STRAP (TYP) DOUBLE STRAND 10 GA. WIRE, 2-7" ROLLED STEEL POSTS (M&DOT 3401) @ 180" O.C. (SEE STAKING DIAGRAM)

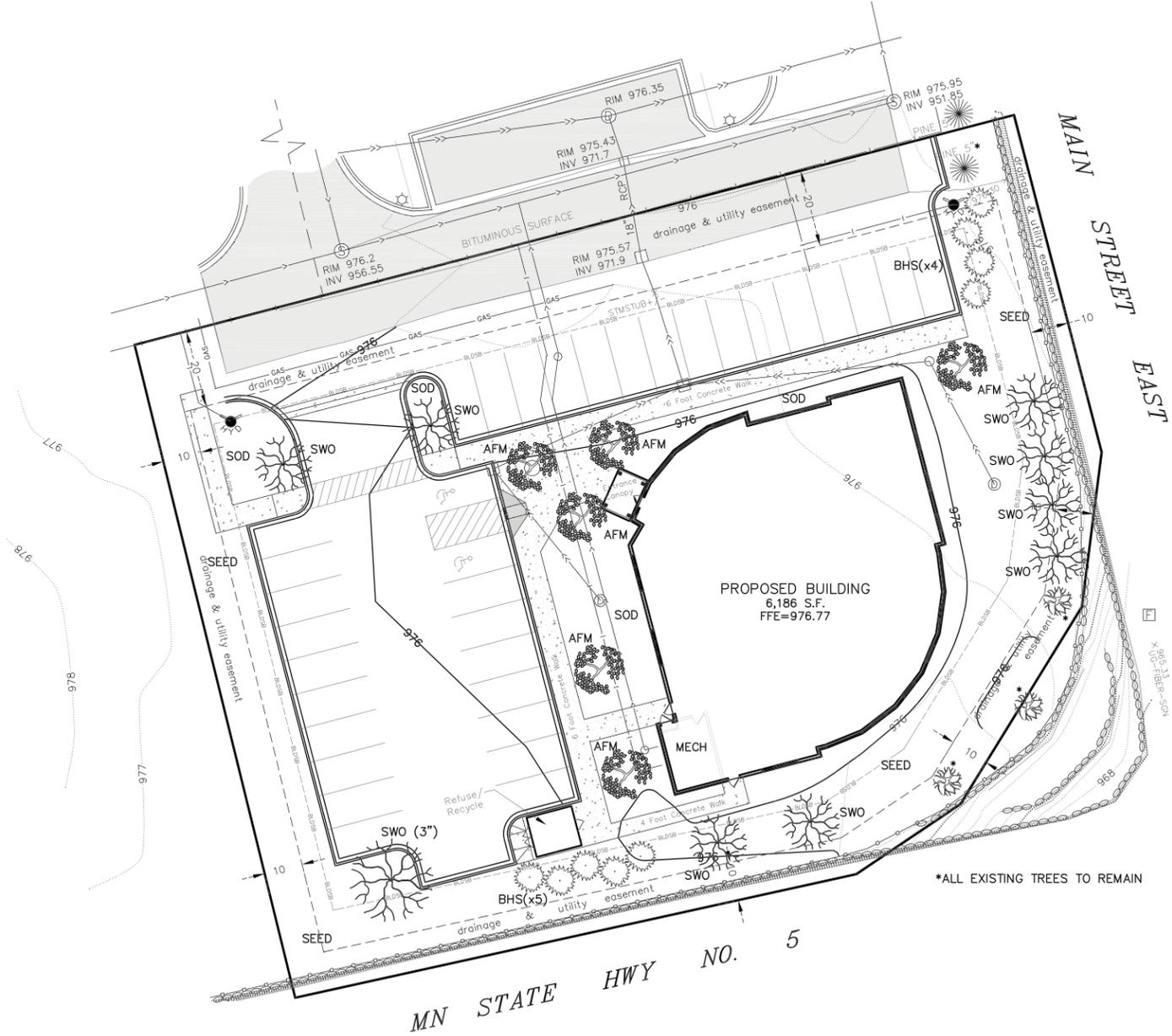
COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY LINES AND STAKES



**CONIFEROUS TREE PLANTING DETAIL**

NOT TO SCALE

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE AT INSTALL
<b>DECIDUOUS TREES</b>					
	AFM	6	ACER RUBRUM	AUTUMN FLAME MAPLE	2-1/2" B&B
	SWO	9	QUERCUS BICOLOR	SWAMP WHITE OAK	2-1/2" B&B
<b>CONIFEROUS TREES</b>					
	BHS	9	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	6' HEIGHT B&B



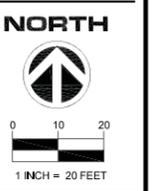
DRAWN BY: C.M. DESIGN BY: C.W.P.  
 CHECKD BY: C.W.P. PROJ. NO. 16-1600  
 ORIGINAL DATE: MARCH 3, 2016

DATE	REVISION DESCRIPTION

**FIEDLER, D.D.S.**  
 WAGONIA, MINNESOTA  
 LANDSCAPE PLAN

PREPARED FOR:  
 STRAPKO PAHL

**PLOWE ENGINEERING, INC.**  
 SITE PLANNING & ENGINEERING  
 6776 LAKE DRIVE SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701



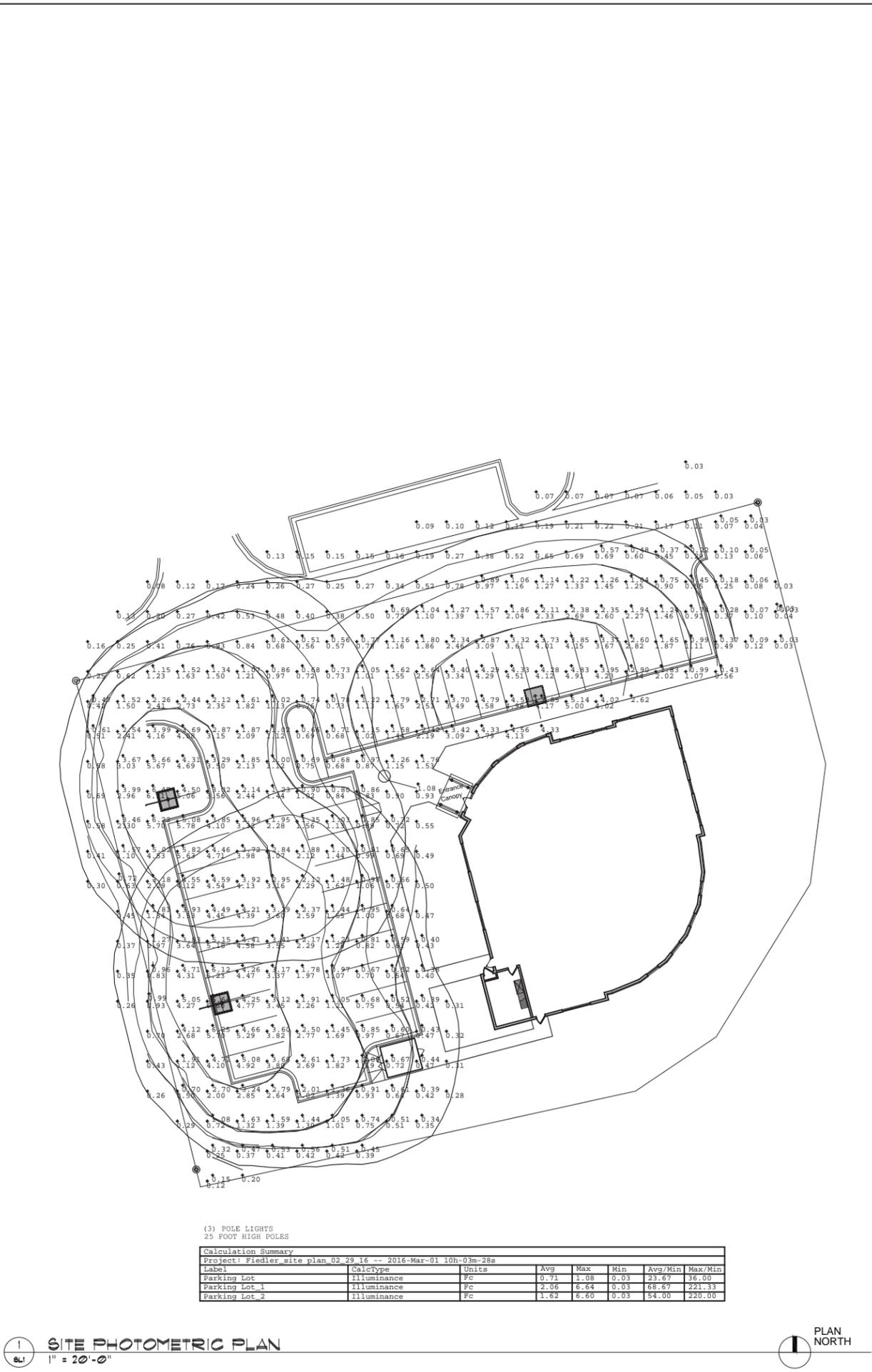
**L1**

S:\wgonia\wgonia\1600\_FIEDLER.DDS - WAGONIA.VL-1600\_CAD.VL-1600\_BASE 7\_C.DWG 3/29/2016



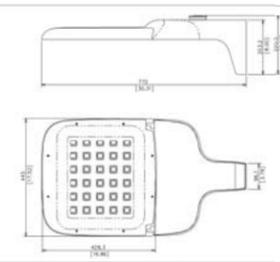
Know what's below.  
 Call before you dig.

**LANDSCAPE PLAN**  
**FIEDLER, D.D.S.**



### ARIETA™18 LED Area Luminaire AR18

**Luminaire Data**  
Weight 24 lbs [10.9 kg]  
EPA 0.55 ft<sup>2</sup>



#### Ordering Information

Sample Catalog No. AR18 20M MV HV 3 DB 700 HSS

Product	LED No. & Type	Voltage	Nominal Color Temperature	Distribution	Finish <sup>1</sup>	Drive Current <sup>1</sup>	Options
AR18	6M	MV 120-277V	NW 4000K	2 Type 2	BK Black	350 350mA	BSK Bird Spider Kit
	10M	HV 347-480V	CW 5000K	3 Type 3	DB Dark Bronze	530 530mA	RPA Round Pole Adaptor
	15M			4 Type 4	BR Bronze	700 700mA	MS Round Pole Adaptor
	18M			5 Type 5	WH White	700 700mA	FDC Fixed Drive Current
	20M						NEMA Photocontrol
	24M						PCR5 ANSI 5-wire Photocontrol
30M						PCR7 ANSI 7-wire Photocontrol	
							SC PCR Shorting Cap
							MSL7 Motion Sensor with L7 Lens
							MSL3 Motion Sensor with L3 Lens
							FSR100 Motion Sensor Configuration Tool
							PPS Programmable Power Supply
							ORR Optics Rotated Right
							ORL Optics Rotated Left
							WL Utility Wattage Label

Notes:  
1. 4000K AND 5000K standard, consult factory for other color temperatures.  
2. Black, Dark Bronze or White standard, consult factory for other finishes.  
3. Factory set drive current, field adjustable standard. Refer to performance data on page 3.  
4. Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at 1/2 mounting height behind luminaire.  
5. Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.  
6. Motion Sensor available with MV only. Motion Sensor default setting dims luminaire to 50% when no motion detected for 5 minutes. Field adjustable using FSR100 for alternate settings. See L7 or L3 Lens coverage details on page 4. Consult factory for MS specified with ANSI 5-wire or 7-wire Photocontrol Receptacle. Luminaire warranty is limited to 5 years with a Motion Sensor. PCR option is required for On/Off control using light detection.  
7. Consult factory for programming.

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AR18\_v030615. Specifications subject to change without notice.



### ARIETA™18 LED Area Luminaire AR18

**Performance Data**  
All data nominal, consult factory for IES files or LM-79 reports.

No. of LEDs & Type	Drive Current (mA)	System Wattage (W)	Delivered Lumens (lm)	Type 5	
				Efficacy (lm/W)	BUG Rating
6M	350	25	2670	107	B2 U0 G0
	530	37	3690	100	B2 U0 G1
	700	49	4610	94	B2 U0 G1
10M	350	41	4460	109	B2 U0 G1
	530	62	6150	99	B3 U0 G1
	700	82	7690	94	B3 U0 G1
15M	350	66	6980	106	B3 U0 G1
	530	97	9680	100	B3 U0 G2
	700	128	12020	94	B4 U0 G2
18M	350	74	8020	108	B3 U0 G1
	530	112	11070	99	B3 U0 G2
	700	148	13830	93	B4 U0 G2
20M	350	82	8910	109	B3 U0 G2
	530	124	12300	99	B4 U0 G2
	700	164	15370	94	B4 U0 G2
24M	350	99	10700	108	B3 U0 G2
	530	149	14760	99	B4 U0 G2
	700	197	18445	94	B4 U0 G2
30M	350	123	13370	109	B4 U0 G2
	530	186	18450	99	B4 U0 G2
	700	246	23060	94	B4 U0 G2

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### ARIETA™18 LED Area Luminaire AR18

#### Luminaire Specifications

**Housing**  
Die cast aluminum housing with universal mounting design allows for attachment to existing pole without retrofitting for retrofit applications. Square pole mounting standard, round pole adapter option available. Meets ANSI C136.31-2001 Normal Application Vibration Standards. All hardware is stainless steel. Electrical components are accessed without tools and are mounted on removable power door. Power door features quick electrical disconnects to terminal block and LED board.

**Light Emitting Diodes**  
Hi-flux/Hi-power white LEDs produce a minimum of 95% of initial intensity at 100,000 hours of life. LEDs are tested in accordance with IES LM-80 testing procedures. Mean correlated color temperature of 4000K (standard) and 70 minimum CRI. LEDs are 100% mercury and lead free.

**Optical Systems**  
Micro-lens systems produce IES Type 2, Type 3, Type 4 or Type 5 distributions. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0).

**Electrical**  
Power source voltage is field adjustable (350mA, 530mA or 700mA). Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Transient voltage complies with ANSI C62.41 Cat. A. Integral surge protector is tested per ANSI/IEEE C62.45 procedures based on ANSI/IEEE C62.41.2 definitions for standard and optional waveforms for Location Category C High. Photocontrol receptacle is standard, ANSI C136.41 5-wire (PCR5) or 7-wire (PCR7) dimming receptacle optional. Photocontrol or control module is provided by others. Power Supply is 0-10V dimmable standard with PCR5, PCR7 and/or Motion Sensor option.

**Finish**  
Housing receives a fade and abrasion resistant, epoxy polyester powder coat.

**Listings/Ratings/Labels**  
Luminaires are UL listed for use in wet locations in the United States and Canada. Optical systems available on micro-lens. Design Lights Consortium qualified 4000K product. Wattage label complies to ANSI C136.15-2011.

**Photometry**  
Luminaires are photometrically tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

**Warranty**  
10-year limited warranty is standard on luminaire and components.

#### Performance Data

See next page.

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AR18\_v030615. Specifications subject to change without notice.



### ARIETA™18 LED Area Luminaire AR18

#### Motion Sensor (Optional) Specifications

**Description**  
Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection.

**Operation**  
Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSR-100 configuration tool. FSR-100 user guide available at: www.watersupper.com.

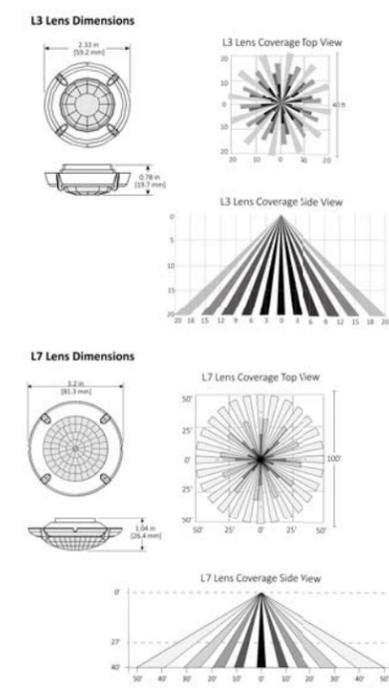
**Optical System**  
Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within a mounting height, up to 20R maximum (Standard). Consult factory for higher mounting height requirements.

**Finish**  
Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

**Listings/Ratings**  
Sensor is ULV, UL and cUL listed, IP66 rated and CE compliant.

**Warranty**  
5-year limited warranty on luminaires and components with a motion sensor.

#### Motion Sensor (Optional) Data



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ARCHITECTURAL LIGHTING DESIGN, INC.  
2920 Anthony Lane, St. Anthony, Minnesota 55418

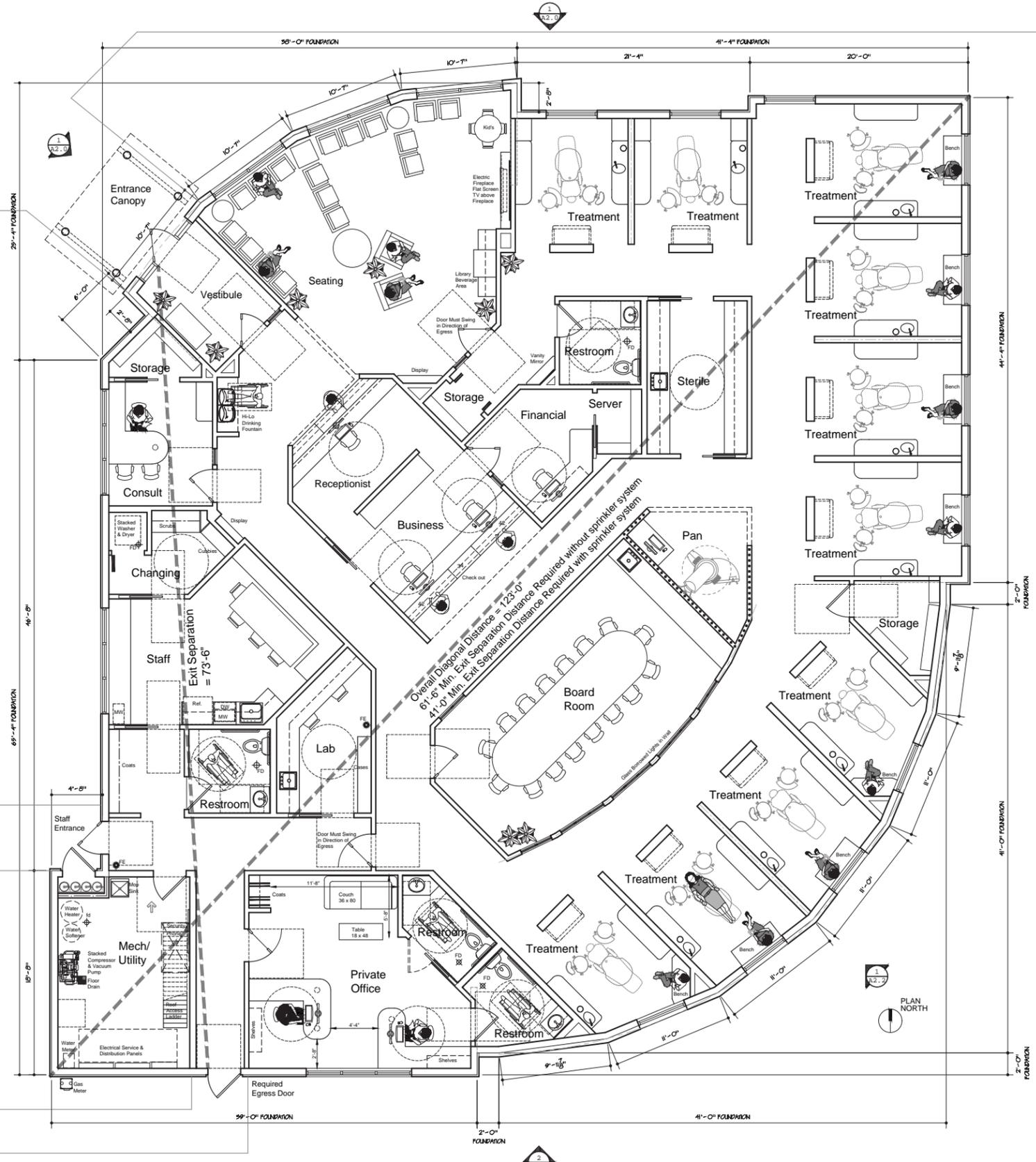
PROFESSIONAL OFFICE BUILDING  
Jack Fiedler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

PRELIMINARY

SITE PLAN REVIEW PACKAGE  
SITE PHOTOMETRIC PLAN

SD ISSUE  
03-03-16

CD  
SL1



1  
A1.0 FLOOR PLAN  
3/16" = 1'-0"

6373 Building Gross sf 6186 Gross Floor Area  
PLAN NORTH



James A. Strapko Diane Pahl Strapko  
4157 MURREHARR AVENUE, MINNEAPOLIS, MN 55408  
TEL: 772-641112 FAX: 772-344831 WWW: strapko.com

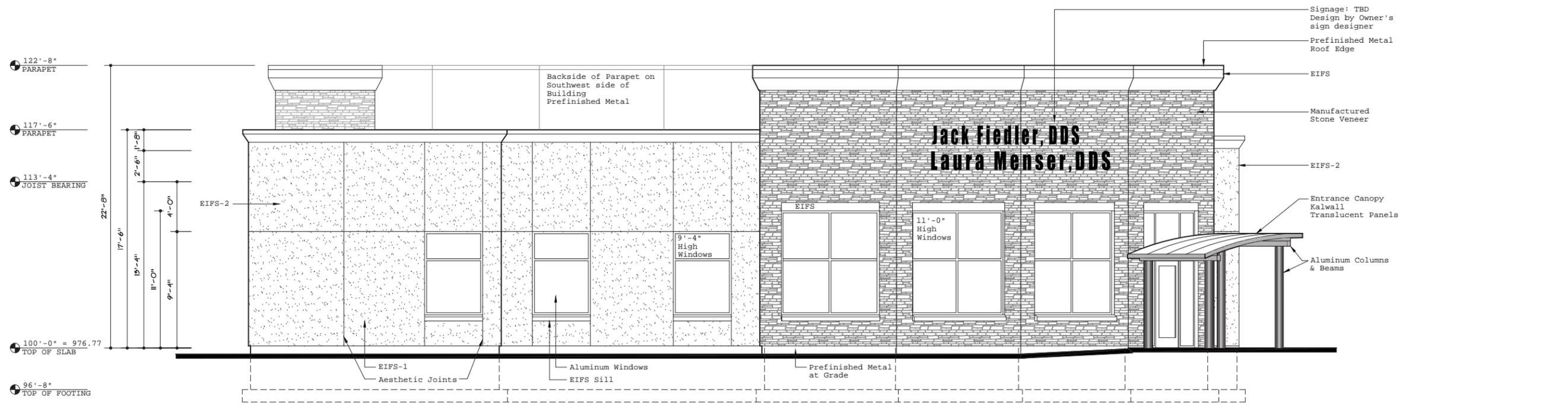
PROFESSIONAL OFFICE BUILDING  
Jack Fredler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

PRELIMINARY  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
James A. Strapko  
Professional Engineer  
No. 12443

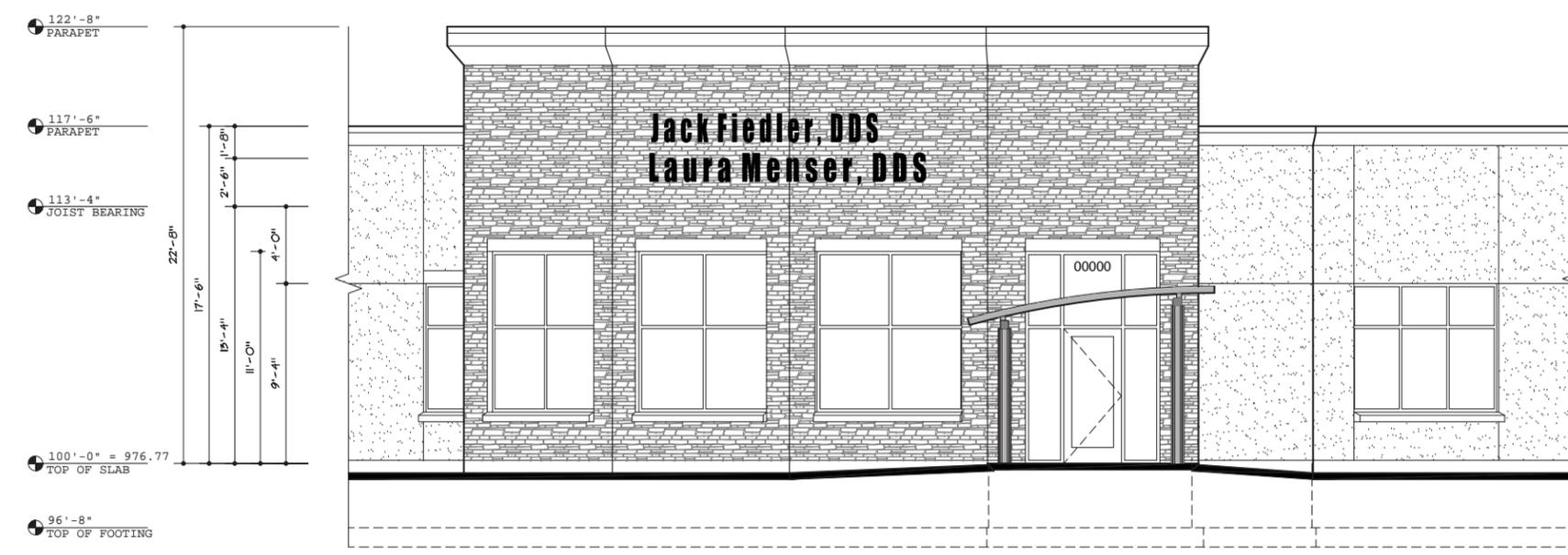
SITE PLAN REVIEW PACKAGE  
FLOOR PLAN

SD ISSUE  
03-03-16

CD  
A1.0



1 NORTH ELEVATION  
1/4" = 1'-0"



2 NORTHWEST ELEVATION  
1/4" = 1'-0"

EXTERIOR MATERIAL & FINISH SCHEDULE	
ROOF EDGE / PARAPET CAP	PREFINISHED METAL COLOR: TO BE SELECTED
EIFS WALL - LOWER	EIFS-1: DRYVIT COLOR: TO BE SELECTED TEXTURE:
EIFS WALL - UPPER	EIFS-2: DRYVIT OUTSULATION COLOR: TO BE SELECTED TEXTURE:
EIFS CAP & SILL	EIFS-3: DRYVIT OUTSULATION COLOR: TO BE SELECTED TEXTURE:
EIFS TRIM AT WINDOW HEAD	EIFS-4: DRYVIT OUTSULATION COLOR: TO BE SELECTED TEXTURE:
MANUFACTURED STONE	CULTURED STONE STYLE: TO BE SELECTED COLOR: TO BE SELECTED
ALUMINUM ENTRANCE STOREFRONT FRAMING	PREFINISHED METAL COLOR: TO BE SELECTED
GLASS	SECTION 088000 IG-1: INSULATED, CLEAR
WINDOWS	PREFINISHED METAL COLOR: TO BE SELECTED
STAFF/SERVICE DOOR & FRAME	PREFINISHED METAL PAINT COLOR: TO BE SELECTED
ENTRANCE CANOPY	KALWALL TRANSLUCENT PANELS COLOR: TO BE SELECTED ALUMINUM COLUMNS & BEAMS
PREFINISHED METAL	PM-1: ALUMAKLAD/COLORKLAD COLOR: TO BE SELECTED PM-2: ALUMAKLAD/COLORKLAD COLOR: TO BE SELECTED
ADDRESS SIGNAGE	HIGH PERFORMANCE VINYL LETTERS ADHERED WHITE - FOR VISIBILITY
WALL SIGNAGE	CHANNEL LETTERS, INTERNALLY ILLUMINATED TO COMPLY WITH SITE SIGNAGE STANDARDS DESIGN & COLORS BY OWNERS SIGN DESIGNER
REFUSE ENCLOSURE	EIFS & PREFINISHED METAL TO MATCH BUILDING

PRELIMINARY

SITE PLAN REVIEW PACKAGE  
EXTERIOR ELEVATIONS

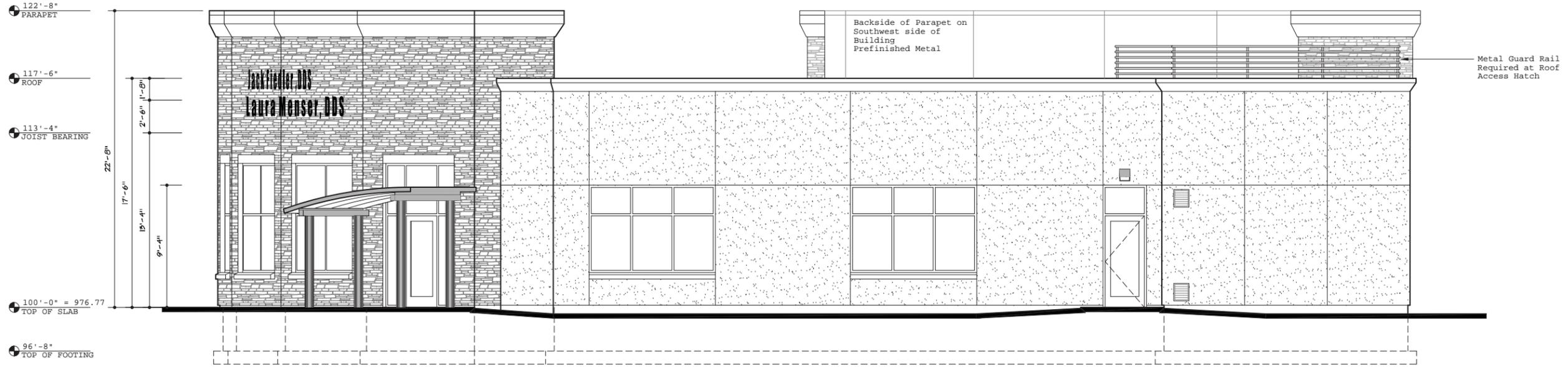
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03-03-16

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A2.0

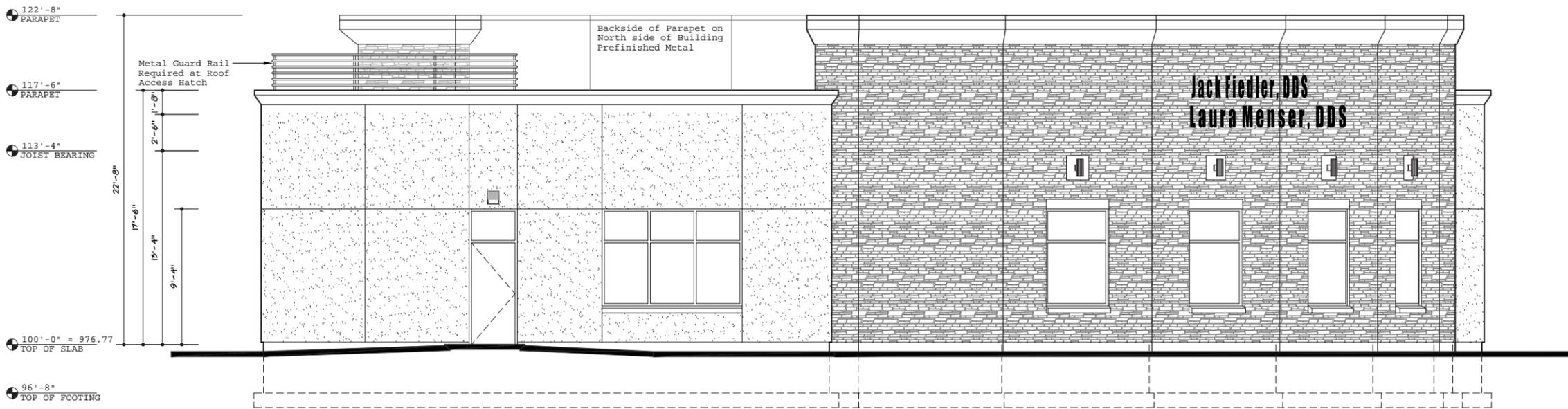
  
 James A. Strapko Diane Pahl Strapko  
 4157 MINNEHABA AVENUE, MINNEAPOLIS, MN 55408  
 TEL: 772-64112 FAX: 772-34851 WWW.STRAPKO.COM

PROFESSIONAL OFFICE BUILDING  
 Jack Fiedler, DDS & Laura Menser, DDS  
 Lot 2, Block 9, Legacy Village  
 Waconia, Minnesota

  
 James A. Strapko  
 Professional Engineer  
 License No. 12441



1 WEST ELEVATION  
A2.1 1/4" = 1'-0"



2 SOUTH ELEVATION  
A2.1 1/4" = 1'-0"



James A. Strapko Diane Pahl Strapko  
4157 MURREHARA AVENUE, MISSISSAUGA, ONTARIO, L4W 5T6  
416-272-6412 416-272-9481 www.strapko.com

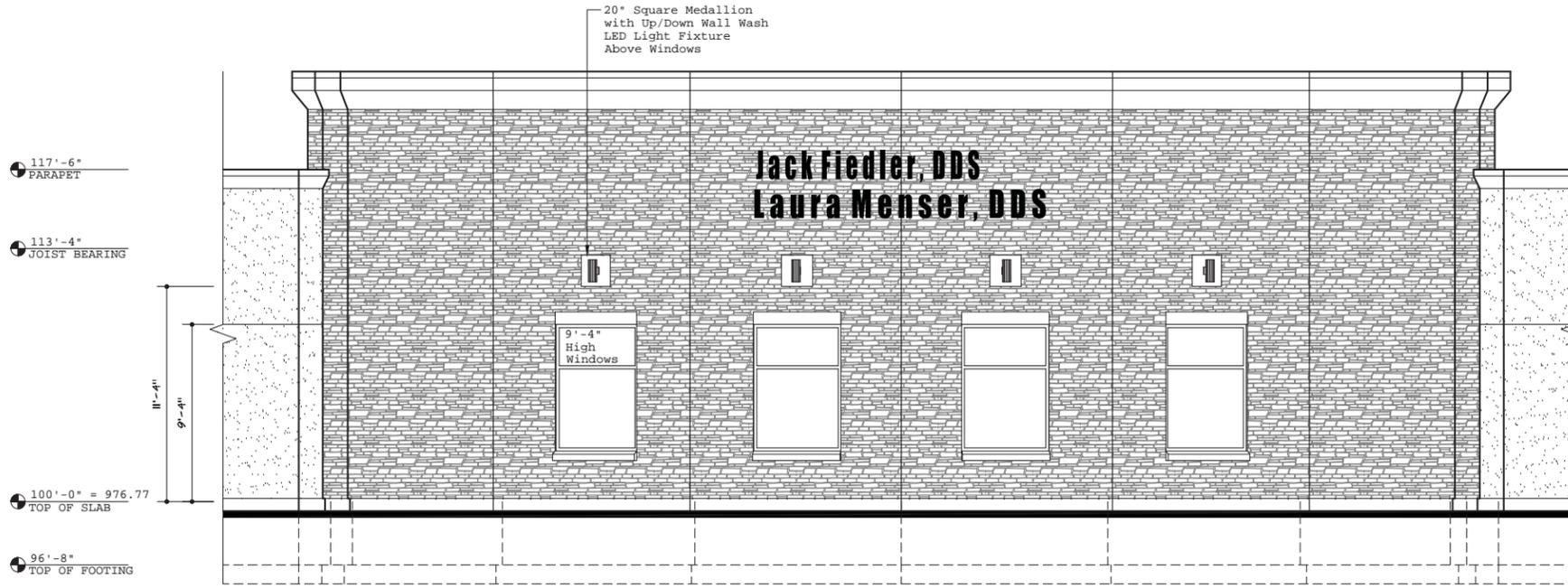
PROFESSIONAL OFFICE BUILDING  
Jack Fiedler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

PRELIMINARY  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
James A. Strapko  
Professional Engineer  
No. 12441

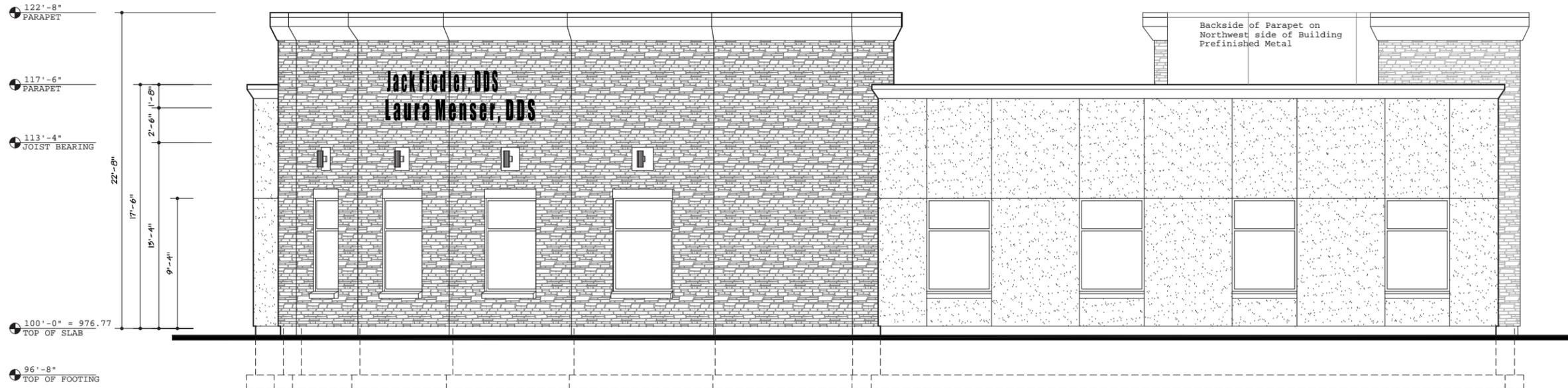
SITE PLAN REVIEW PACKAGE  
EXTERIOR ELEVATIONS

SD ISSUE  
03-03-16

CD  
A2.1



1 SOUTH EAST ELEVATION  
A22 1/4" = 1'-0"



2 EAST ELEVATION  
A22 1/4" = 1'-0"



James A. Strapko Diane Pahl Strapko  
4157 MINNEHABA AVENUE, MINNEAPOLIS, MN 55408  
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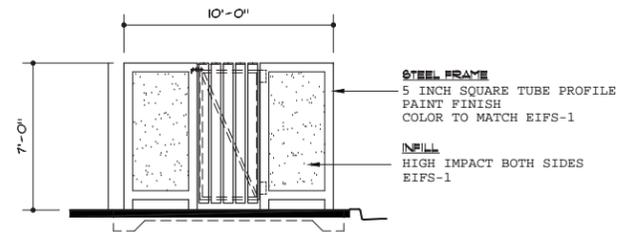
PROFESSIONAL OFFICE BUILDING  
Jack Fiedler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

PRELIMINARY  
I have verified that this plan, specification, or report was prepared by a duly licensed professional under the name of the State of Minnesota.  
James A. Strapko  
Professional Engineer  
No. 12441

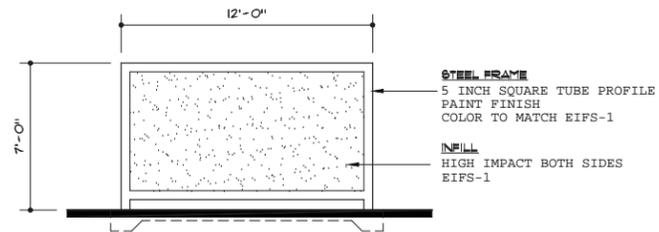
SITE PLAN REVIEW PACKAGE  
EXTERIOR ELEVATIONS

SD ISSUE  
03-03-16

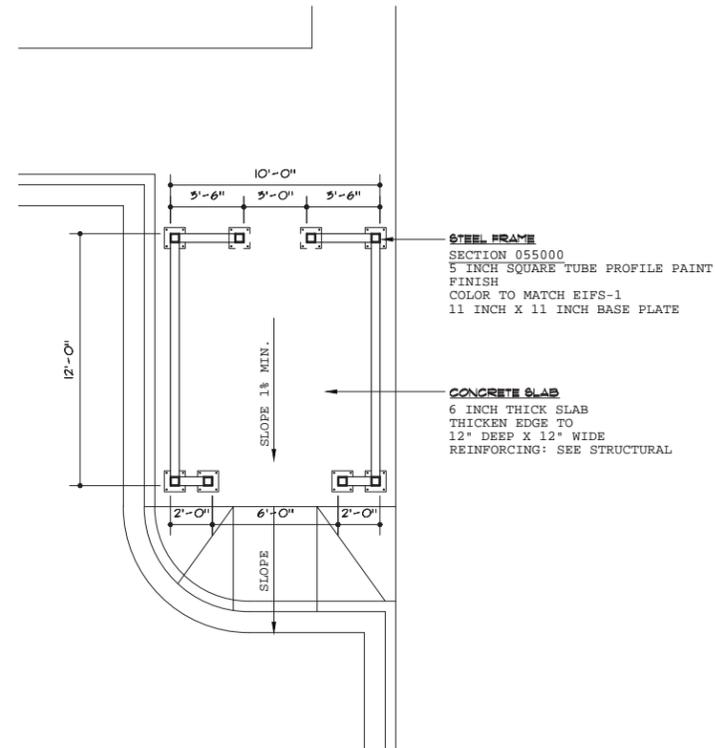
CD  
A2.2



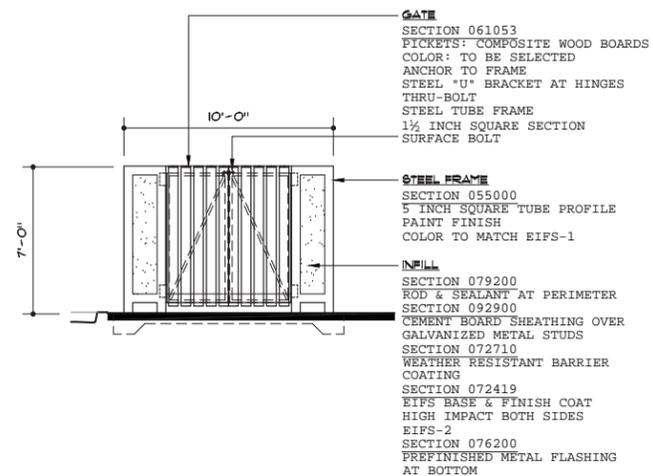
1 EAST ELEVATION  
A2.3 1/4" = 1'-0"



4 NORTH & SOUTH ELEVATIONS  
A2.3 1/4" = 1'-0"



2 PLAN  
A2.3 1/4" = 1'-0"



3 WEST ELEVATION  
A2.3 1/4" = 1'-0"

PRELIMINARY

STRAPKO PAHL  
ARCHITECTS

James A. Strapko  
Diane Pahl Strapko  
4157 MINNEHABA AVENUE, MINNEAPOLIS, MN 55408  
TEL: 772-64112 FAX: 772-344831 WWW: strapko.com

PROFESSIONAL OFFICE BUILDING  
Jack Friedler, DDS & Laura Menser, DDS  
Lot 2, Block 9, Legacy Village  
Waconia, Minnesota

STRAPKO PAHL  
ARCHITECTS

SITE PLAN REVIEW PACKAGE  
REFUSE/RECYCLE ENCLOSURE

SD ISSUE  
03-03-16

CD  
A2.3



## REQUEST FOR PLANNING COMMISSION CONSIDERATION

<b>Meeting Date:</b>	April 7 <sup>th</sup> , 2016						
<b>Item Name:</b>	Continued Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage and driveway on the property located at 425 Lake Street West.						
<b>Originating Department:</b>	Planning and Zoning						
<b>Presented by:</b>	Angie Perera, Assistant Planner						
<b>Previous Commission Action (if any):</b>	Public hearing was held at the 3/3/16 Planning Commission meeting. This item was continued for further discussion.						
<b>Item Type (X only one):</b>	<table border="1"><tr><td>Consent</td><td></td><td>Regular Session</td><td><input checked="" type="checkbox"/></td><td>Discussion Session</td><td></td></tr></table>	Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session	
Consent		Regular Session	<input checked="" type="checkbox"/>	Discussion Session			

### **RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED** (Include motion in proper format.)

Continued discussion from 3/3/16 Planning Commission meeting.

**Motion recommending either approval or denial of the proposed Variance Application to allow reduced setbacks and exceed the maximum impervious surface area requirements per City Ordinance to allow for the construction of a detached accessory structure on the property located at 425 Lake Street West.**

### **EXPLANATION OF AGENDA ITEM** (Include a description of background, benefits, and recommendations.)

#### **BACKGROUND:**

The Planning Commission held a public hearing on 3/3/16, at which time they reviewed and discussed the requested variance for the proposed construction of a new, detached garage for the property located at 425 Lake St. W. The applicant received favorable support for the variance request from John Bartlett, property owner of 417 Lake St. W. (the applicant's immediate neighbor to the east) during the public hearing. The Planning Commission discussed the condition recommended by staff, requiring a 10 ft. setback for the garage from the rear/south lot line of the property, and requested the Public Services Director and City Engineer review and provide feedback regarding the 4 ft. setback proposed by the applicant as their current 10 ft. setback recommendation was in response to the applicant indicating a 1 ft. setback as part of the original submittal. The Commission also asked the applicant to seek feedback from the neighboring property owner to the west (at 433 Lake St. W.) since the proposed garage would be located 2 ft. from their shared lot line (City Code requires a minimum 10 ft. side yard setback).

#### **ORIGINAL REQUEST:**

The City has received a Variance Application from Ben and Lauren McQuillan (the "applicants") to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage on the property located at 425 Lake Street West.

The applicants are requesting approval of two variances:

- 1) To exceed the 25 percent maximum impervious surface area allowed in the Shoreland Overlay District; and
- 2) To allow an accessory structure (detached garage) and driveway to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley.

#### **UPDATE & REVISED REQUEST**

Both the Public Services Director and City Engineer have reviewed the request and have indicated that the proposed garage setback of 4 ft. from the rear/south lot line is not ideal but would be acceptable in terms of traffic movement and snow removal for this particular property.

The applicant has also revised the dimensions of the proposed garage based on discussions with their neighbor at 433 Lake St. W. The original and revised plans are attached with this staff report for reference. A summary of the proposed revisions are outlined below.

1. Footprint of the proposed garage is being reduced from 776 sq. ft. to 760 sq. ft.
2. Length of the proposed garage is being reduced from 39 ft. to 32 ft. (along the portion abutting the shared/west side lot line of the property).
3. Width of the proposed garage is being increased from 26 ft. to 28 ft. (along the portion of the garage that will abut the rear/south lot line of the property).
4. The concrete apron proposed on the south side of the proposed garage will also be extended along the revised width of the garage, thereby increasing the hardcover/impervious surface area of the apron by approximately an additional 8 sq. ft.
5. The revised design will also cause the need to shift the proposed grass paver parking area to the east side of the garage by approximately 2 ft.
6. The service door will be installed on the north side of the proposed garage (versus on the north east side as previously proposed).
7. Two garage doors (one 14 ft. wide, and one 9 ft. wide door) will be installed on the south side of the proposed garage (versus one 18 ft. wide by 8 ft. tall door as previously proposed).
8. Proposed garage will have the same reduced setbacks, building materials, color, and design, as originally proposed.

#### Revised Variance Request:

The applicants are requesting approval of two variances:

- 1) To allow an approximate 30% hardcover/impervious surface area coverage (thereby exceeding the 25% maximum impervious surface area allowed in the Shoreland Overlay District); and
- 2) To allow an accessory structure (detached garage) and driveway (concrete apron) to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley with the following setbacks:
  - A setback of 2 ft. from the side/west lot line - versus the minimum 10 ft. setback requirement per City Code.
  - A setback of 4 ft. from the rear/south lot line - versus the minimum 10 ft. setback requirement per City Code.

#### VARIANCE REVIEW CRITERIA:

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

- 1) Is the variance in *harmony with* the purposes and intent of the ordinance?
- 2) Is the variance *consistent with* the *comprehensive plan*?
- 3) Does the proposal put property to use in a *reasonable manner*?
- 4) Are there *unique circumstances* to the property not created by the landowner?
- 5) Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

#### STAFF’S ANALYSIS

In summary, it appears that there will be a net increase of an additional 2 sq. ft. of hardcover/impervious surface area for the revised garage plans in comparison to the original garage plans that were reviewed by the Planning Commission on 3/3/16. The revised total proposed hardcover/impervious surface area would be approximately 2,589sq. ft. (30% of the lot) versus 2,587 sq. ft. (29.98% of the lot) as previously proposed. A recommendation of approval should be conditioned on a revised certificate of survey being submitted prior to consideration by the City Council to verify the exact proposed setbacks and the exact proposed hardcover/impervious surface area for the purposes of granting the requested variances.

#### RECOMMENDATION:

The Planning Commission should review the revised request for the afore-mentioned variances submitted by Ben and Lauren McQuillan based on the Variance Criteria stated above and make a recommendation to the City Council. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on April 18, 2016.

If the Planning Commission chooses to recommend approval of the reduced side and rear yard setbacks and impervious surface variances submitted by Ben and Lauren McQuillan for construction of a detached garage, staff would recommend the approval upon the following conditions:

- 1) A revised certificate of survey shall be required to be submitted to City staff for review and approval and must include the modifications indicated on the applicant's revised site plans prior to this item being scheduled for review by the City Council.
- 2) The garage shall be constructed as proposed on the revised building and site plans and as conditionally revised by the City Council.
- 3) All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
- 4) The applicant should attempt to incorporate reuse or irrigation with the design of this project.
- 5) For maintenance purposes the proposed hard surface shall be not consist of gravel or aggregate.
- 6) The windows and service door on the detached garage shall be required to match or be consistent with the principal structure (house).
- 7) The detached garage structure shall be setback a minimum of 4 ft. from the rear/south lot line of the property and a minimum of 2 ft. from the side lot line as indicated in the plans.

**ATTACHMENTS:**

- 1) ORIGINAL Planning Commission staff report dated 3/3/16 (4 pages)
- 2) ORIGINAL Certificate of Survey dated 02/02/16, prepared by Premier Land Surveying, LLC (1 page)
- 3) REVISED Site Plans (4 pages)



## REQUEST FOR PLANNING COMMISSION CONSIDERATION

<b>Meeting Date:</b>	March 3 <sup>rd</sup> , 2016				
<b>Item Name:</b>	Variance request by Ben and Lauren McQuillan to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage and driveway on the property located at 425 Lake Street West.				
<b>Originating Department:</b>	Planning and Zoning				
<b>Presented by:</b>	Angie Perera, Assistant Planner				
<b>Previous Commission Action (if any):</b>	None				
<b>Item Type (X only one):</b>	<table border="1"><tr><td>Consent</td><td>Regular Session</td><td><input checked="" type="checkbox"/></td><td>Discussion Session</td></tr></table>	Consent	Regular Session	<input checked="" type="checkbox"/>	Discussion Session
Consent	Regular Session	<input checked="" type="checkbox"/>	Discussion Session		

**RECOMMENDATIONS/COUNCIL ACTION/MOTION REQUESTED** (Include motion in proper format.)

### Open Public Hearing

#### Motion to close the Public Hearing

**Motion recommending either approval or denial of the proposed Variance Application to allow reduced setbacks for building and improvements and to exceed impervious surface area requirements per City Ordinance.**

**EXPLANATION OF AGENDA ITEM** (Include a description of background, benefits, and recommendations.)

### **BACKGROUND:**

**Applicant:** Ben and Lauren McQuillan

**Owner:** Ben McQuillan

**Address:** 425 Lake St. W.

**P.I.D. #:** 750503320

**Legal Description:** Lot 18, Block 34, City Lots of Waconia

**Zoning District:** R-4, Mixed Residential District (Lot width of 55 ft. or greater) & Shoreland Overlay District

**Comprehensive Plan Designation:** L – Low Density Residential

The property is currently a legal non-conforming lot since it currently exceeds the maximum impervious surface area (ISA) allowed and the existing accessory structure (detached garage) does not meet the minimum setback requirements allowed per City Ordinance.

### **REQUEST:**

The City has received a Variance Application from Ben and Lauren McQuillan (the “applicants”) to exceed the maximum impervious surface allowed in the Shoreland Overlay District and to allow for reduced side yard and rear yard setbacks for construction of a detached garage on the property located at 425 Lake Street West.

The applicants are requesting approval of two variances:

- 1) To exceed the 25 percent maximum impervious surface area allowed in the Shoreland Overlay District; and
- 2) To allow an accessory structure (detached garage) and driveway to be constructed in the rear yard of the property with reduced setbacks from the lot lines and alley.

### **APPLICABLE ORDINANCE PROVISIONS:**

- 1) Section 900.04 – Definitions
- 2) Section 900.05 – District Regulations, Subd. 2.A – R-1, Single-Family Residential District
- 3) Section 900.06 – Supplementary Regulations, Subd. 1.C – Accessory Structures, Recreational Vehicles, and Other Matters
- 4) Section 900.06 – Supplementary Regulations, Subd. 7. Shoreland Overlay Regulations
- 5) Section 900.09 – Off-Street Parking, Loading, & Access Regulations, Subd. 3. Traffic Access Regulations
- 6) Section 900.12 – Administration, Enforcement and Procedures, Subd. 4 – Variances

## **DEFINITIONS:**

- 1) **Accessory Structure:** A structure subordinate to, and serving the principal structure on the same lot and customarily incidental thereto.
- 2) **Hardcover Surface (aka: Impervious Surface Area or ISA):** Any structure or material that substantially reduces or prevents the infiltration of storm water into the ground including, but not limited to, buildings, other structures, and driveways and parking areas surfaced with any type of pavement or gravel.

## **VARIANCE REVIEW CRITERIA:**

Waconia City Code Section 900.12, Subd. 4 and Minnesota State Statute 462.357, Subd. 6 establishes criteria to be considered when contemplating the issuance of a variance in terms of “practical difficulty” as follows: Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan.” So a city evaluating a variance application should make findings as to:

- 1) Is the variance in *harmony with* the purposes and intent of the ordinance?
- 2) Is the variance *consistent with* the *comprehensive plan*?
- 3) Does the proposal put property to use in a *reasonable manner*?
- 4) Are there *unique circumstances* to the property not created by the landowner?
- 5) Will the variance, if granted, alter the *essential character* of the locality?

State statute specifically notes that economic considerations alone cannot create practical difficulties. Whereas, practical difficulties exist only when the three statutory factors are met (1. reasonableness, 2. uniqueness, and 3. essential character).

## **VARIANCE ANALYSIS:**

### **Accessory Structure Requirements:**

#### Minimum Setback Requirements:

Front Yard Setback (north side) = 25 ft.

Side Yard Setback (west & east sides) = 10 ft.

Rear Yard Setback (south side) = 10 ft.

Alley Setback (south side) = 10 ft.

**Variance # 1 (setbacks) - The proposed structure will be placed in the southwest corner of the property and will NOT comply with the minimum setback requirements.** According to the certificate of survey dated 02/25/16, the proposed accessory structure will have reduced setbacks of 2 ft. from the west/side lot line and 4 ft. from the south/rear lot line and alley. There are no drainage and utility easements located on the property to be concerned with.

#### Aggregate Coverage:

Maximum Hardcover Surface Area: 25% (Shoreland Overlay District)

Maximum Total Floor Area of all Accessory Structures: No more than 1,000 sq. ft. based on a lot size less than 10,500.

Existing Hardcover/Impervious Surface Area = 2,296 sq. ft. & 33.91% of the lot

Proposed Hardcover/Impervious Surface Area = 2,587 sq. ft. & 29.98% of the lot

**Variance # 2 (hardcover/impervious surface area) - The existing accessory structure (detached garage) is proposed to be demolished and replaced with a new accessory structure (detached garage) and other site improvements (guest parking on grass pavers in the south east corner of the property) that will result in NOT complying with the 25% maximum hardcover surface area allowed.** The proposed garage is an “L” shaped garage and is approximately 776 sq. ft.

Height Limitation: No accessory structure detached from the principal structure shall exceed 20 ft. in height.

- The proposed height of the detached garage is 17 ft.

Location Limitation: Accessory structures, detached from the principal structure shall not be located in any front or side yard, except that a detached garage may be located in a side yard if it meets required setbacks.

- The proposed detached garage will be located in the southwest corner of the property and in the rear yard.

Access: Any accessory structure in excess of 144 sq. ft. that is detached from the principal structure shall provide driveway access to a public street. Any such driveway shall: 1) be no less than 10 ft. wide and made from a bituminous, concrete or other

driveway surface approved by the City; 2) not closer than the required setbacks for such structure to any property line at any given point; and 3) screened or landscaped from neighboring structures as required by the City, in its discretion, if such structure is located in a side yard.

**Driveway Requirements:**

City Ordinance Section 900.09, Subd. 3.A. states: “No curb cut access shall be located less than 30 feet from the intersection of 2 or more street rights-of-way. The distance shall be measured from the intersection of lot lines. The City may require greater distances if future traffic conditions warrant. Such greater distances shall be required subject to approval by the City Council.”

This section also states: “Curb cut openings shall be a minimum of 5 ft. from the side yard property line in all districts.” City Ordinance Section 900.09, Subd. 3, B. states: “Single-family uses shall be limited to one curb cut access per property.”

- According to the certificate of survey dated 02/25/16, the driveway will be concrete and will be setback 2 ft. from the west side lot line of the property and will NOT comply with the 5 ft. setback requirement from the side lot line as required by City Ordinance (Variance # 1). The proposed driveway will also be 26 ft. wide (the length of the garage), 4 ft. deep and abut the south/rear lot line of the property and alley.

**Proposed Design & Architecture:**

The City Ordinance does not have architectural design requirements or regulations within the Residential or Shoreland Overlay Districts although the applicants have indicated that the design of the proposed accessory structure (detached garage) will be traditional and consistent with the principal structure (house). The applicants have also indicated that last year they installed new siding on the house (LP Smart Side, dark blue, 7 inch lap) and several new windows and that the garage will be finished to match. The roof will be finished with gray architectural asphalt shingles. The house currently has green shingles but the applicants intend to re-shingle the house in 2017 to match the garage. An architectural/designer garage door will also be installed, and will be cedar tone in color to enhance the visual appeal from the alley (and south side of the garage and south/rear lot line of the property). The detached garage will also have windows on the north, west, and east sides of the structure, and a service door on the east side.

**PUBLIC NOTICE/COMMENT:**

The notice was published in the WACONIA PATRIOT on February 18, 2016 and posted at Waconia City Hall. Individual notices were mailed to property owners within 350 feet of the subject parcel. The City has received no comments from the public as of 2/26/16.

The City anticipates receiving comments from both the Minnesota Department of Natural Resources and from Carver County Land & Water Management/Soil & Water Divisions regarding the variance request as it specifically relates to water quality and storm water management. Those comments will be provided to the Planning Commission as a verbal update included within staff’s presentation of this item.

**RECOMMENDATION:**

The Planning Commission should hold the required public hearing, review the variance request submitted by Ben and Lauren McQuillan based on the Variance Criteria stated above and make a recommendation to the City Council. Upon a formal recommendation by the Planning Commission this application will be forwarded to the City Council for review at their upcoming meeting on March 21, 2016.

At this time, City Code does not allow a credit option for the use of permeable pavers or other alternative stormwater improvements however, recent variance applications have incorporated permeable pavers with projects that have resulted in a 25% to 50% credit when calculating impervious surface areas for sites that have had an adequate outlet for storm water drainage. The proposed plan does not have a suitable outlet and therefore no credit is being recommended. The topography of the area makes an outlet difficult. Reuse or irrigation could be considered which would result in a partial credit.

The proposed 4 ft. setback to the south (towards the alley) is not recommended. Assuming the garage doors face south the turning movement from a 16 ft. wide alley into the garage is problematic. Also, the alley snow removal operations would push snow either into the garage or up against the garage door. The 10 ft. setback width should be maintained or the site should be modified for the garage doors to face to the east.

If the Planning Commission chooses to recommend approval of the garage setback and impervious surface variances submitted by Ben and Lauren McQuillan, staff would recommend the approval upon the following conditions:

- 1) The garage shall be constructed as proposed on the certificate of survey and as conditionally revised by the Planning Commission and City Council.

- 2) All applicable permits are applied for by the applicant with all supporting documentation and issued prior to the start of construction.
- 3) The applicant shall be required to incorporate reuse or irrigation with the design of this project.
- 4) For maintenance purposes the proposed hard surface shall be not consist of gravel or aggregate.
- 5) The certificate of survey shall be required to be updated to include the front porch patio or deck and a note should also be made to indicate the impervious/hardcover calculations of said improvements if applicable.
- 6) The windows and service door on the detached garage shall be required to match or be consistent with the principal structure (house).
- 7) The garage structure shall be setback a minimum of 10 ft. from the rear lot line/alley per the recommendation of the City Engineer.

**ATTACHMENTS:**

- 1) Public Hearing Notice & Location Site Map (2 pages)
- 2) Variance Application (4 pages)
- 3) Certificate of Survey dated 02/02/16, prepared by Premier Land Surveying, LLC (1 page)
- 4) Applicant Letter dated 02/01/16 (1 page)
- 5) Project Overview (4 pages)
- 6) Property Photos (16 pages)
- 7) Site Plan (2 pages)
- 8) Color Renderings of Proposed Garage (5 pages)
- 9) City Staff Review Comments dated 02/16/16 ( 1page)
- 10) Revised Certificate of Survey dated 02/25/16, prepared by Premier Land Surveying, LLC (1 page)



Foundation set back 2' to allow for 12" roof overhang

12'

36" Service Door

Originally Proposed Footprint

11.5'

17'

14'

39'

776 sq ft

22'

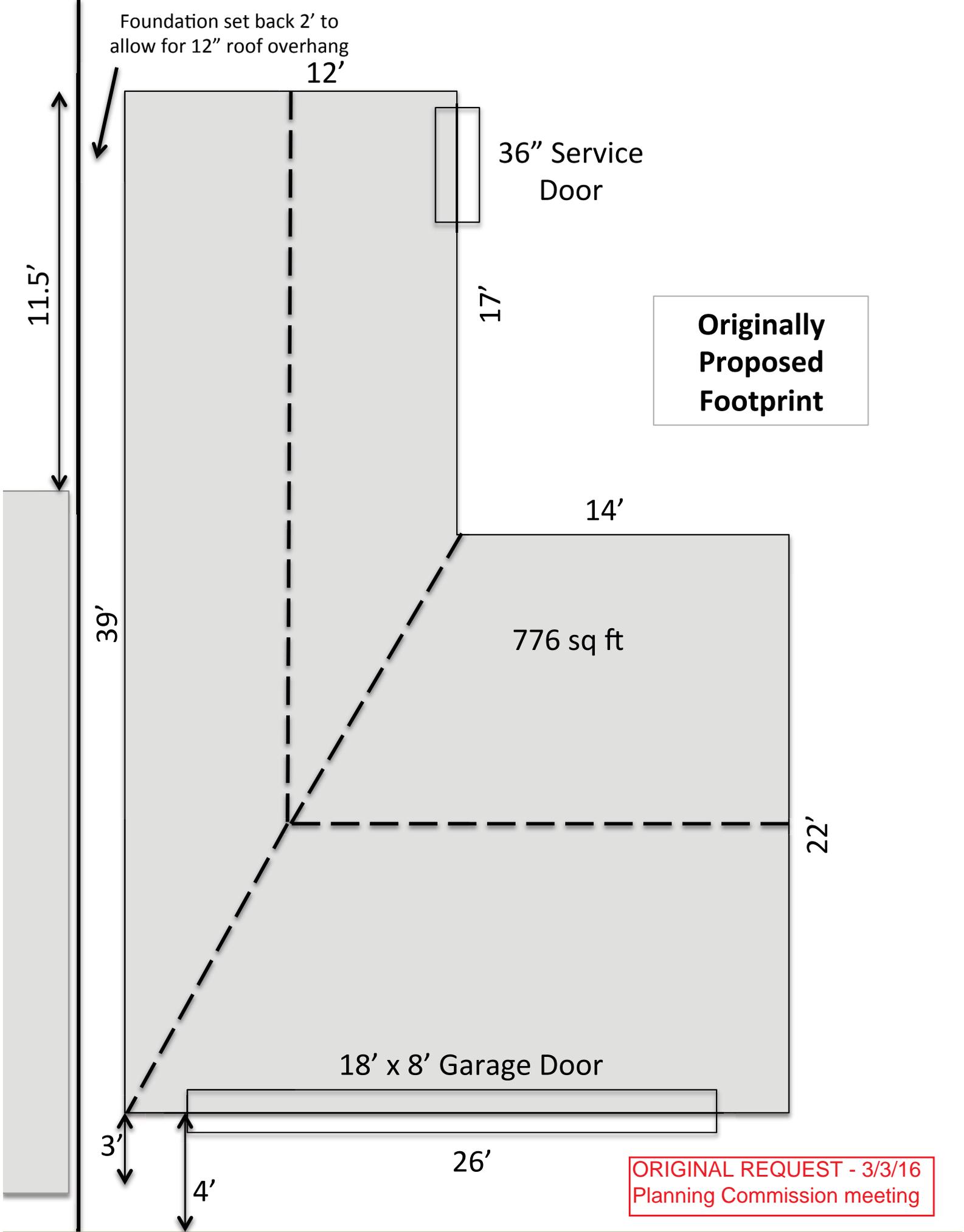
18' x 8' Garage Door

3'

26'

4'

ORIGINAL REQUEST - 3/3/16  
Planning Commission meeting

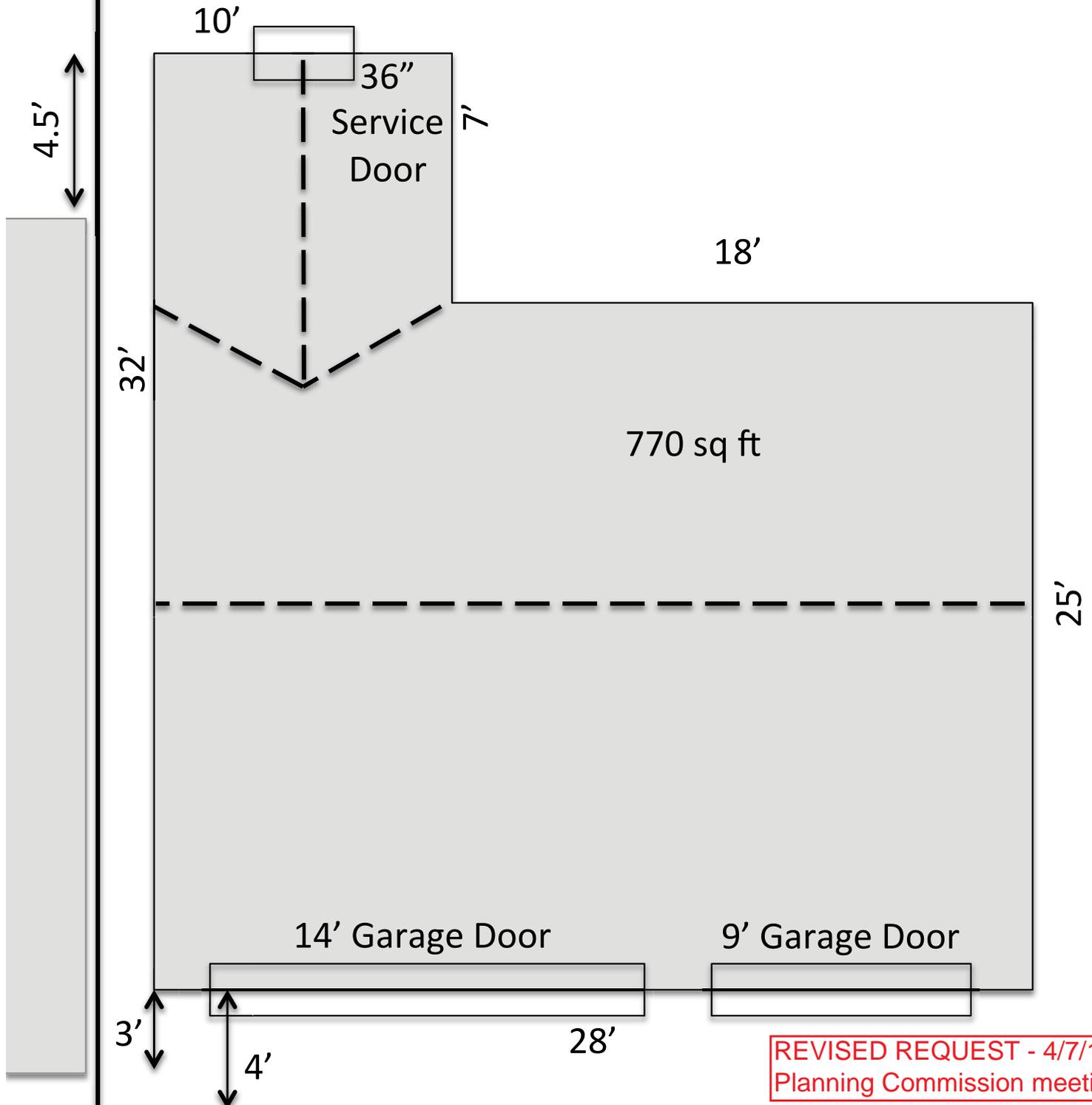


This revised footprint adjusts for west neighbor concerns about overlap

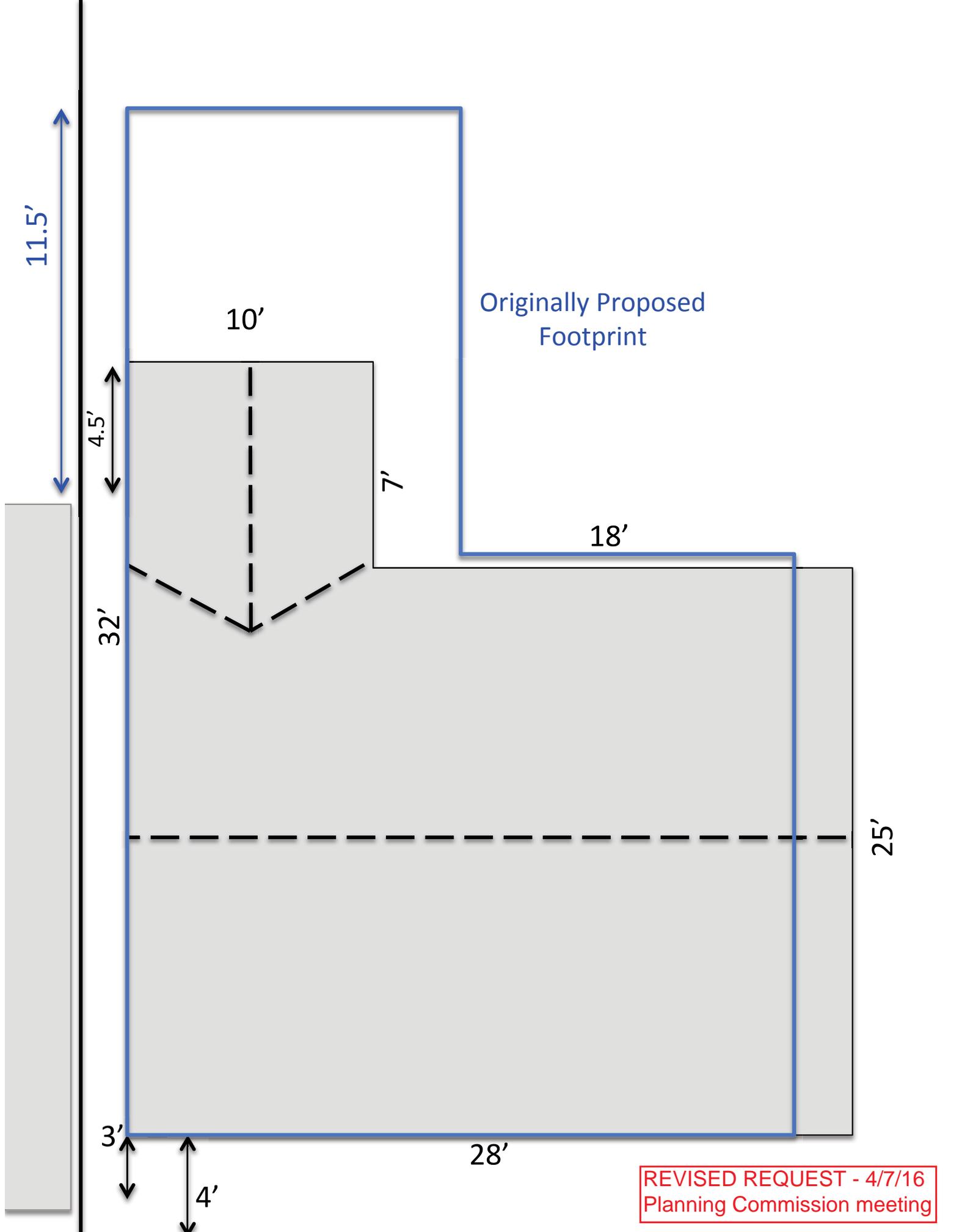
- Previously 11.5', will now extend 4.5' beyond neighbor's garage to the north.

Impact to impervious proportion due to change:

- Total garage area reduced by 6 sqft
- Apron (driveway) to alley widened by 2'
  - Additional 2 sqft impervious (0.02%), essentially unchanged from original proposal



REVISED REQUEST - 4/7/16  
Planning Commission meeting



11.5'

Originally Proposed Footprint

10'

4.5'

7'

18'

32'

25'

3'

28'

4'

REVISED REQUEST - 4/7/16  
Planning Commission meeting



Shown set back 4' from alley lot line  
and 2' from west neighbor lot line.

**Revised Footprint**

**Originally Proposed Footprint**